

221 S. EL CAMINO REAL - SAN MATEO, CA

PLANNING COMMISSION HEARING - JUNE 9TH, 2015



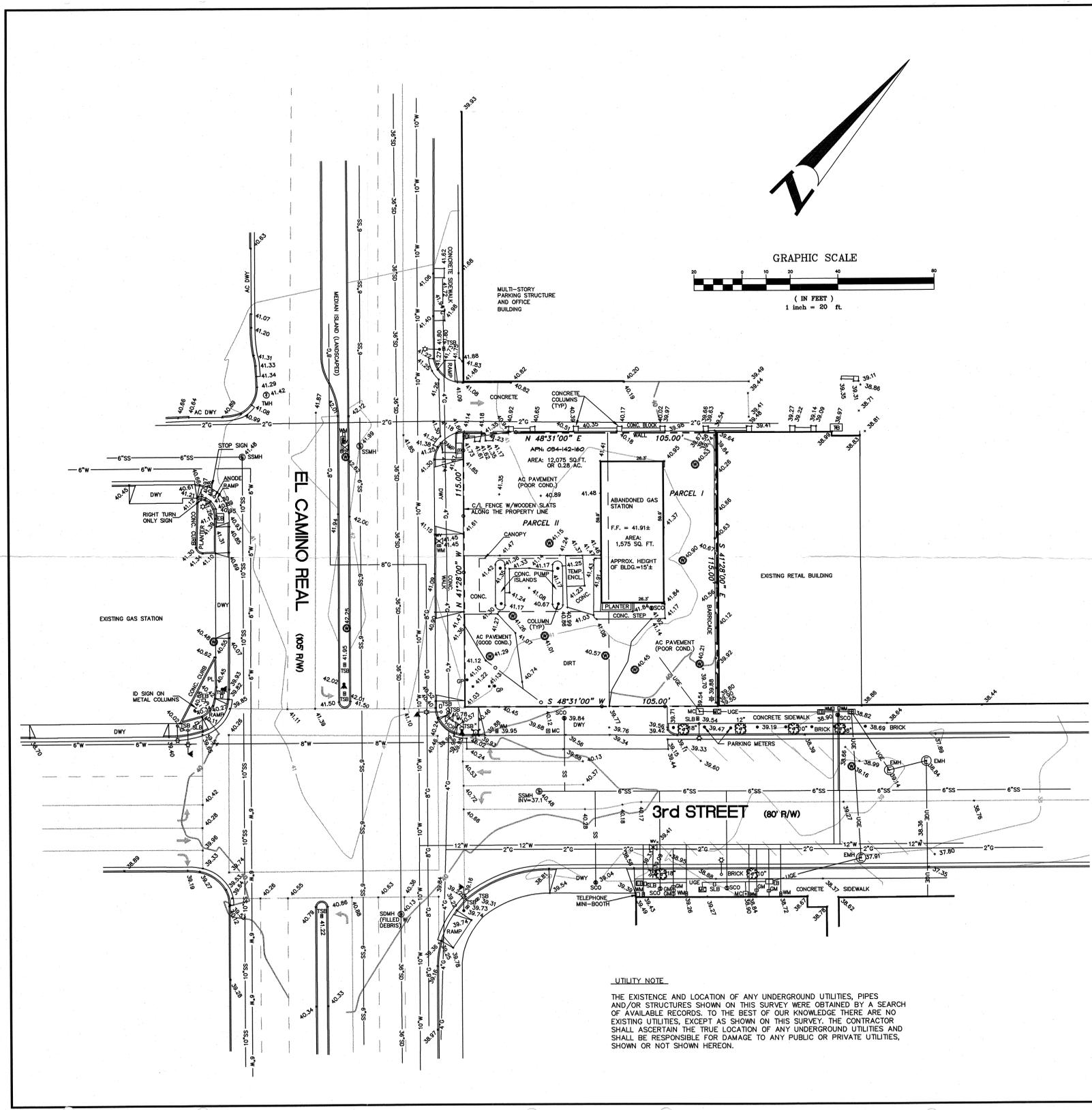
221 SOUTH EL CAMINO REAL
SAN MATEO, CA

ISSUE	DATE
PLANNING PRE-APP	09.05.14
PLANNING APPLICATION	01.20.15
PLANNING RE-SUBMITTAL	04.17.15
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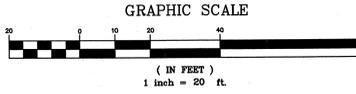
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COVER SHEET

Sheet Title
Scale
Project No. 1421 DRAWN BY: CLB
Sheet Size: 30 x 42



LEGAL DESCRIPTION:
PER FIRST AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT
ORDER NO. 454890-TD, DATED MARCH 3, 2000.
ALL THAT CERTAIN PROPERTY IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF SAN MATEO, CITY OF SAN MATEO, AND IS DESCRIBED AS FOLLOWS:
PARCEL I:
PORTION OF LOTS 15, 16 AND 17, AS SHOWN ON THAT CERTAIN MAP ENTITLED "PLAT OF TAYLOR ADDITION TO SAN MATEO", FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO, STATE OF CALIFORNIA ON JULY 20, 1905 IN BOOK "A" OF MAPS AT PAGE 70, AND COPIED INTO BOOK 3 OF MAPS AT PAGE 68.
PARCEL II:
PORTION OF LOTS 15, 16 AND 17, AS SHOWN ON THAT CERTAIN MAP ENTITLED "PLAT OF TAYLOR ADDITION TO SAN MATEO, 1905", FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA ON JULY 20, 1905 IN BOOK "A" OF MAPS AT PAGE 70 AND COPIED INTO BOOK 3 OF MAPS AT PAGE 68, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE POINT OF INTERSECTION OF THE NORTHEASTERLY LINE OF EL CAMINO REAL WITH THE NORTHWESTERLY LINE OF THIRD AVENUE, AS SAME APPEARS ON THE MAP REFERRED TO; THENCE NORTHWESTERLY ON AND ALONG THE NORTHWESTERLY LINE OF THIRD AVENUE, 115 FEET; THENCE NORTHEASTERLY AND PARALLEL TO THE NORTHWESTERLY LINE OF EL CAMINO REAL, 115 FEET; THENCE SOUTHEASTERLY AND PARALLEL TO THE NORTHWESTERLY LINE OF EL CAMINO REAL, 115 FEET TO THE NORTHWESTERLY LINE OF THIRD AVENUE; THENCE SOUTHWESTERLY ON AND ALONG SAID NORTHWESTERLY LINE OF THIRD AVENUE, 45 FEET TO THE POINT OF BEGINNING.



EXCEPTING THEREFROM THE FOLLOWING DESCRIBED PROPERTY:
COMMENCING AT THE POINT OF INTERSECTION OF THE NORTHEASTERLY LINE OF EL CAMINO REAL WITH THE NORTHWESTERLY LINE OF THIRD AVENUE, AS SAME APPEARS ON THE MAP REFERRED TO; THENCE NORTHWESTERLY ON AND ALONG THE NORTHWESTERLY LINE OF THIRD AVENUE, 115 FEET; THENCE NORTHEASTERLY AND PARALLEL TO THE NORTHWESTERLY LINE OF EL CAMINO REAL, 115 FEET; THENCE SOUTHEASTERLY AND PARALLEL TO THE NORTHWESTERLY LINE OF EL CAMINO REAL, 115 FEET TO THE NORTHWESTERLY LINE OF THIRD AVENUE; THENCE SOUTHWESTERLY ON AND ALONG SAID NORTHWESTERLY LINE OF THIRD AVENUE, 45 FEET TO THE POINT OF BEGINNING.

BENCHMARK:
RAMSET NAIL AND WASHER IN TOP OF CURB AT EASTERLY END OF SOUTHERLY RETURN AT THE INTERSECTION OF EL CAMINO REAL WITH 3rd AVENUE.

BASIS OF BEARINGS:
THE NORTHWESTERLY LINE OF THIRD AVENUE AS SHOWN ON THAT CERTAIN MAP ENTITLED "PLAT OF TAYLOR ADDITION TO SAN MATEO 1905", FILED IN BOOK "A" OF MAPS, PAGE 70 AND COPIED INTO BOOK 3 OF MAPS, PAGE 68, SAN MATEO COUNTY RECORDS, TAKEN AS NORTH 48°31' EAST WAS USED AS BASIS OF BEARINGS FOR THIS SURVEY.

FLOOD ZONE: "X"-NOT IN FLOOD ZONE, PER FEMA REGION IX MAP.

ZONING: CENTRAL BUSINESS DISTRICT

HEIGHT RESTRICTION: 65'

ABBREVIATIONS

- AB AGGREGATE BASE
- AC ASPHALT CONCRETE
- AD AREA DRAIN
- ASB AGGREGATE SUBBASE
- BFP BACKFLOW PREVENTER
- CB CATCH BASIN
- CL CENTERLINE
- DCV DIRECT CHECK VALVE
- DWY DRIVEWAY
- E ELECTRICAL LINE
- EB ELECTRIC BOX
- EP EDGE OF PAVEMENT
- EV ELECTRIC VAULT
- FDC FIRE DEPARTMENT CONNECTION
- FF FINISHED FLOOR
- FL FLOORLINE
- FS FINISHED SURFACE
- G GAS PIPE
- GB GRADE BREAK
- GM GAS METER
- GP GUARD POST
- GR GRATE
- HCR HANDICAP RAMP
- INV INVERT
- JP JOINT POLE
- JT JOINT TRENCH
- LF LINEAR FEET
- MC METAL COVER
- MW MONITORING WELL
- OHE OVERHEAD ELECTRIC
- OHT OVERHEAD TELEPHONE
- PAE PUBLIC ACCESS EASEMENT
- PB PULL BOX
- PGAE PACIFIC GAS & ELECTRIC
- PIV POST INDICATOR VALVE
- PUE PUBLIC UTILITY EASEMENT
- PVC POLYVINYL CHLORIDE PIPE
- R RIDGE LINE
- RCF REINFORCED CONCRETE PIPE
- SD STORM DRAIN PIPE
- SLB STREET LIGHT BOX
- SS SANITARY SEWER PIPE
- SSC SANITARY SEWER CLEANOUT
- SDMH STORM DRAIN MANHOLE
- SSMH SANITARY SEWER MANHOLE
- SW SIDEWALK
- T TELEPHONE LINE
- TC TOP OF CURB
- TP TELEPHONE POLE
- TS TRAFFIC SIGNAL
- TSB TRAFFIC SIGNAL BOX
- VG VALLEY GUTTER
- W WATER PIPE
- WM WATER METER

SYMBOLS

- CONTROLLER CABINET
- FIRE HYDRANT
- HANDICAP SPACE
- POWER POLE
- GAS VALVE
- IRON PIPE
- MONITORING WELL
- RAILROAD SPIKE
- SANITARY SEWER MANHOLE
- STANDARD CITY MONUMENT
- STORM DRAIN MANHOLE
- STREET SIGN
- STREET LIGHT
- WATER VALVE
- TREE WITH SIZE
- TRANSFORMER
- BARBED WIRE FENCE
- CHAIN-LINKED FENCE
- WOOD FENCE
- SAWCUT LINE
- WALL
- SURVEYED PROPERTY LINE
- PARCEL LINE

UTILITY NOTE
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THIS SURVEY WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES, EXCEPT AS SHOWN ON THIS SURVEY. THE CONTRACTOR SHALL ASCERTAIN THE TRUE LOCATION OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.



DATE: MAY 9, 2000
SIGNED: Piotr Zieba
PIOTR ZIEBA, LS 8246

DATE	REV #	DESCRIPTION
05-09-00	1	ISSUED FOR PERMITS
05-09-00	2	REVISED PER COMMENTS
05-09-00	3	REVISED PER COMMENTS
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05-09-00	98	REVISED PER COMMENTS
05-09-00	99	REVISED PER COMMENTS
05-09-00	100	REVISED PER COMMENTS

NOTE: LOT MERGER IS IN PROGRESS AND WILL BE CARRIED OUT CONCURRENTLY WITH PLANNING APPLICATION



FURNITURE TO BE CHOSEN IN COLLABORATION WITH FUTURE TENANTS AND DEPENDENT ON USE OF INTERIOR SPACE

PROPOSED FURNITURE 2
NTS



- = 260 S.F. OPEN TO THE SKY
- = 224 S.F. INSET
- = FLOOR 2 OUTLINE
- = GLASS CANOPY ABOVE

OPEN SPACE DIAGRAM 1
1/8" = 1'-0"



AUTUMN EQUINOX 4
1/32" = 1'-0"

SPRING EQUINOX 3
1/32" = 1'-0"

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OPEN SPACE & SHADOW STUDIES

Sheet Title: _____
Scale: _____
Project No. 1421 DRAWN BY: CLB
Sheet Size: 30" x 42"

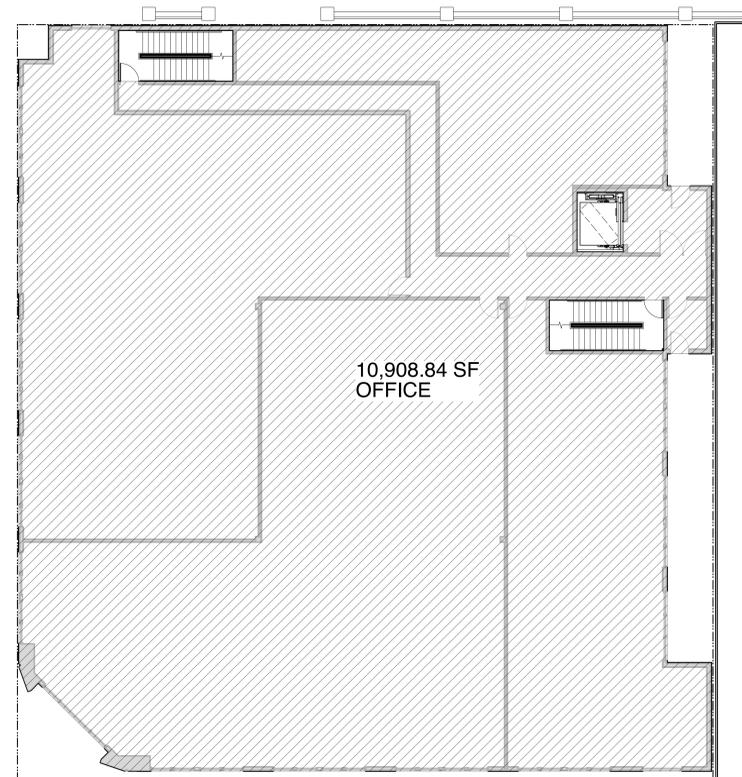


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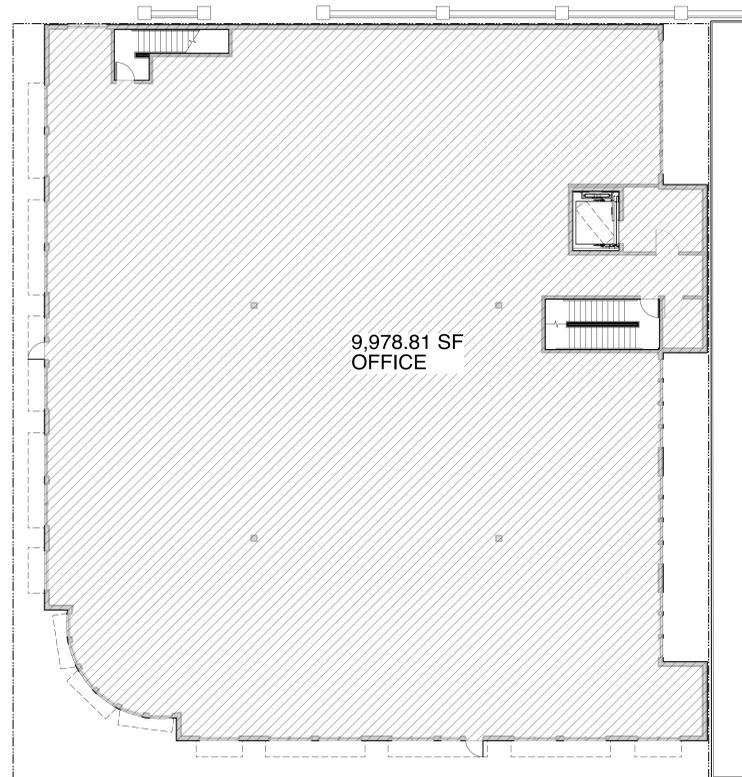
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**FLOOR
AREA
DIAGRAMS**

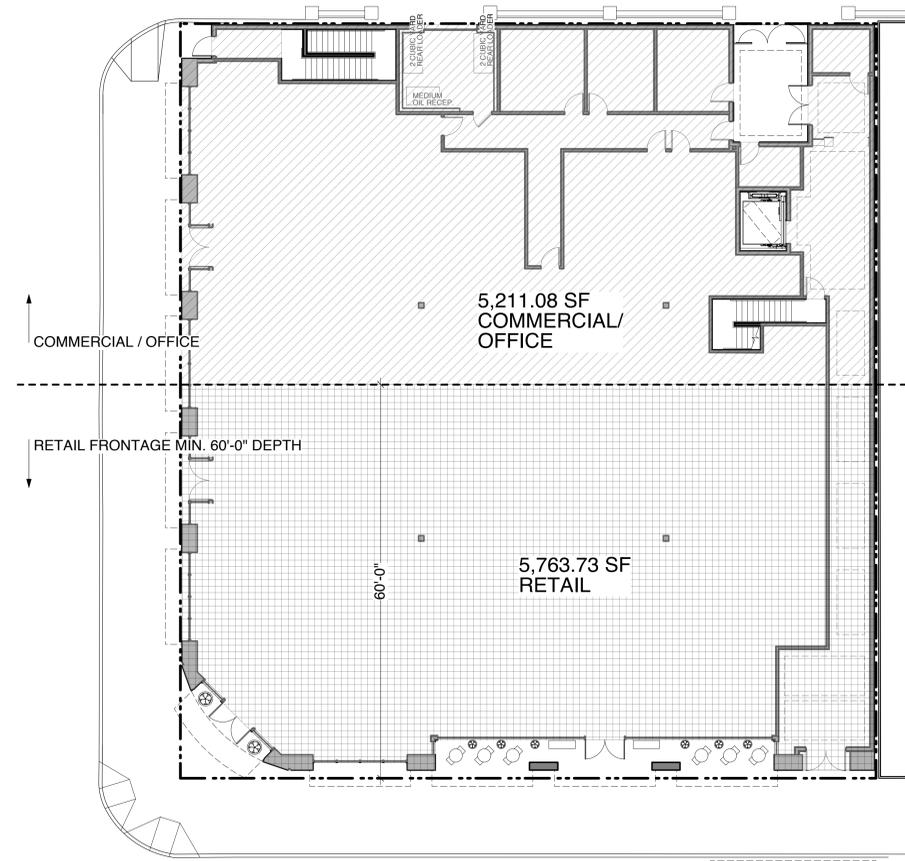
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PROJECT NO. 1421 DRAWN BY: CLB
Sheet Size: 30" x 42"



SECOND FLOOR GROSS AREA DIAGRAM 2
3/16" = 1'-0"



THIRD FLOOR GROSS AREA DIAGRAM 3
3/16" = 1'-0"

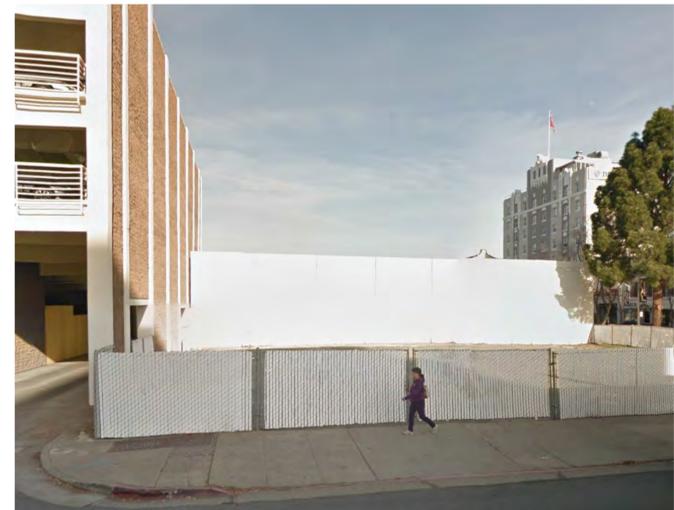


FIRST FLOOR GROSS AREA DIAGRAM 1
3/16" = 1'-0"

FLOOR AREA DEFINITION PER SAN MATEO MUNICIPAL CODE 27.04.200

(d) Off-Street Parking and Loading. Floor area for determining off-street parking and loading requirements as contained in Chapter 27.04, shall be based on physical floor space and shall not include the following:

- (1) Storage areas except for areas located within selling or working space such as counters, racks, and closets;
- (2) Utility areas including, but not limited to, elevator shafts, telephone switching rooms, stairwells, rest rooms, and heating and cooling rooms;
- (3) Accessory facilities to be used only by employees of the principal uses;
- (4) Off-street parking and loading facilities, including aisles, ramps, and maneuvering space;
- (5) Basement, attic, or mezzanine floor area other than area devoted to retailing activities, to the production of processing of goods, or to business or professional offices;
- (6) Floor area designated for day care centers accessory to and intended to serve a multi-family, commercial, office or manufacturing use. Such floor area may be located within the primary structure or may be in a freestanding structure accessory to the primary structure;
- (7) Floor Area Computed for Building Volume. Additional parking shall be required in the event of change of excluded floor areas into uses generating parking.



NEIGHBORING PROPERTIES 2



SITE PHOTOS 1



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GENERAL NOTES

- A. DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR FOUNDATION WALL, TYP. U.O.N.
- B. SEE A0.0 FOR BUILDING AREA CALCULATIONS.
- C. G.C. TO COORDINATE MECH. AND PLUMB. VENTS AS PERMITTED BY CODES TO MINIMIZE ROOF PENETRATIONS.
- D. G.C. TO COORD. AND INSTALL VENTING FOR ALL CONCEALED ROOF AREAS AND OTHER EXTRA METAL FRAMED VOIDS.
- E. ALL GSM FLASHING SHALL BE GALVANIZED OR BONDERIZED AND PAINTED OR RECEIVE COATINGS TO MATCH SURROUNDING MATERIALS.
- F. ROOF SLOPES NOTED ARE MINIMUMS. ROOF SLOPES OF CRICKETS SHOWN DIAGRAMMATICALLY ON ROOF PLANS MAY EXCEED 3/8" FT TO ACHIEVE PROPER ROOF DRAINAGE AS SHOWN.
- G. G.C. TO INCLUDE AND COORDINATE ROOF CRICKETS IN FIELD FOR PROPER DRAINAGE IN ACCORDANCE WITH CODE AND ROOF MANUFACTURER'S WARRANTY.
- H. G.C. SHALL PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY CBC SECTION 2406 AND AS REQUIRED BY CHAPTER 7.
- I. G.C. SHALL INCLUDE IN GMP COST TO ADJUST, LOCATE AND COORDINATE SPRINKLERS.
- J. G.C. SHALL INCLUDE IN GMP ANY MINOR ADJUSTMENTS TO DROP SOFFITS TO COVER MEP EQUIPMENT.
- K. CONCRETE CURBS SHALL BE INCLUDED WHETHER INDICATED OR NOT AT ALL LOCATIONS FOR EXT. WATER BREAK.
- L. THRESHOLDS MUST BE ADA COMPLIANT AT ALL DOORS INTERIOR AND EXTERIOR.

SHEET NOTES

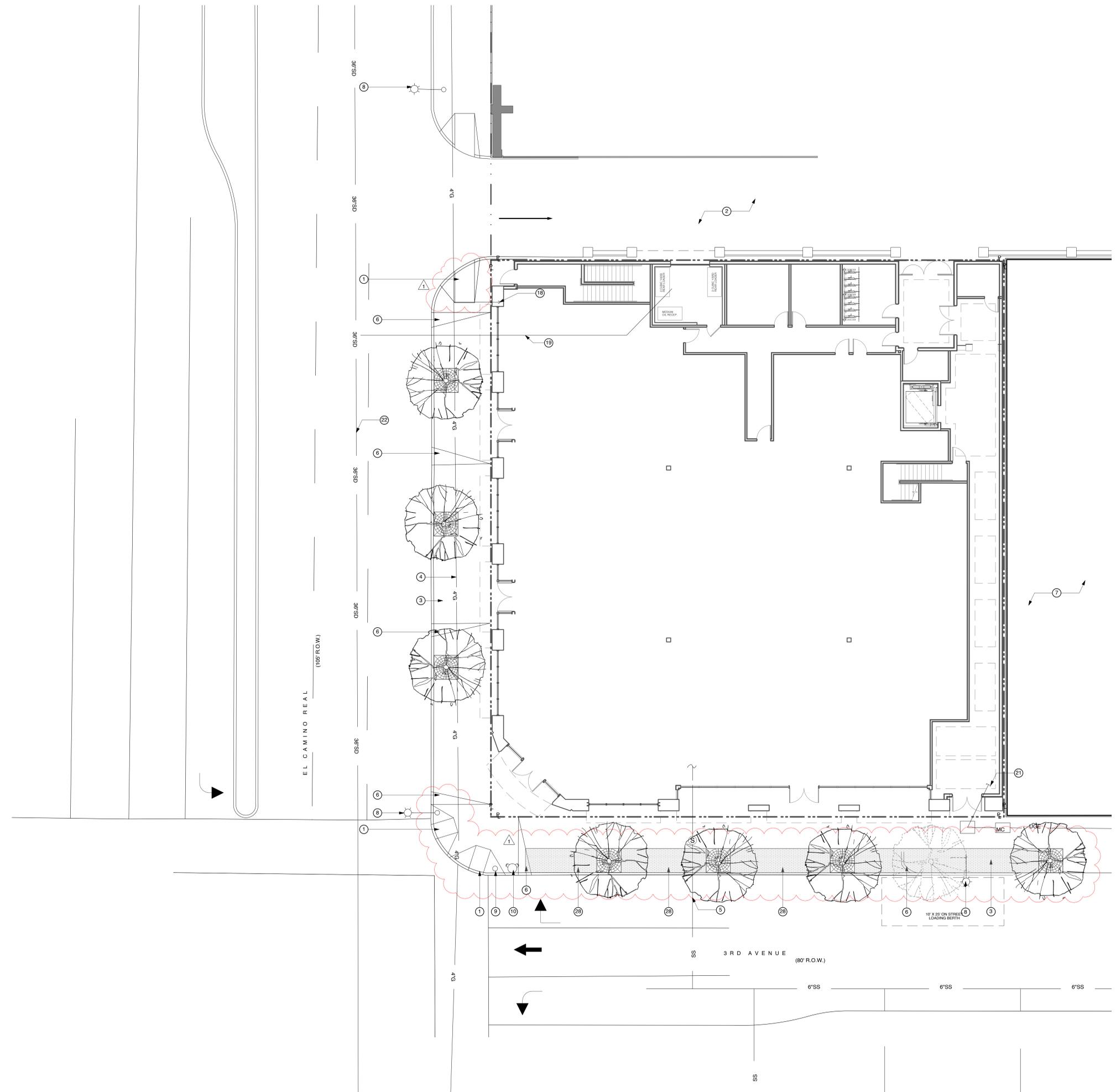
- NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.
- 1. PEDESTRIAN RAMPS TO BE COORDINATED WITH CALTRANS PER CALTRANS STANDARD PLAN SHEET RSP7 A88A AND BASED ON EXISTING CROSSWALKS
 - 2. PARKING GARAGE ON ADJACENT SITE W/ ALLEY BELOW
 - 3. REMOVE EXISTING CURB, GUTTER, AND SIDEWALK ALONG 3RD AVENUE AND EL CAMINO FRONTAGE, IF ANY, PER CITY OF SAN MATEO STANDARDS 3-1-141A.
 - 4. RELOCATE GAS LINE IF REQUIRED BY PG&E FOR INSTALLATION OF STREET TREES AS SHOWN.
 - 5. LOCATE SANITARY SEWER SERVICE FROM 3RD AVENUE MAIN. IF IN SERVICEABLE CONDITION AND SIZE, UTILIZE EXISTING LATERAL. OTHERWISE REMOVE EXISTING SEWER LATERAL AND CLEAN OUT AND REPLACE WITH NEW 6" DIAMETER SEWER LATERAL PER CITY OF SAN MATEO STANDARD 3-1-101. SEE WASTE WATER ANALYSIS FOR INFORMATION CALCULATIONS ON SYSTEM CAPACITY.
 - 6. REMOVE EXISTING DRIVEWAY CURB CUT AND REPLACE WITH SIDEWALK, CURBS AND GUTTER PER CITY STANDARD 3-1-141A.
 - 7. RETAIL BUILDING ON ADJACENT SITE
 - 8. EXISTING STREETLIGHT TO BE SLIGHTLY RELOCATED BASED ON COORDINATION WITH CALTRANS REGARDING PEDESTRIAN RAMP.
 - 9. EXISTING TRAFFIC SIGNAL TO BE SLIGHTLY RELOCATED BASED ON COORDINATION WITH CALTRANS REGARDING PEDESTRIAN RAMP.
 - 10. EXISTING FIRE HYDRANT
 - 11. EXISTING STREET TREE TO REMAIN
 - 12. INSTALL STREET TREES: TYPICAL OF 3 ON EL CAMINO REAL FRONTAGE SPECIES AND SIZE TO BE CONFIRMED WITH SAN MATEO CITY ARBORIST
 - 13. INSTALL STREET TREES: TYPICAL OF 3 ON 3RD AVENUE FRONTAGE SPECIES AND SIZE TO BE CONFIRMED WITH SAN MATEO CITY ARBORIST
 - 14. PROVIDE 5' X 5' TREE WELL: OT SERIES, TITLE 24 WITH 3/8" OR LESS SLOTS, PRE-PAINTED WITH ARMORLOCK 400, BLACK COLOR BY URBAN ACCESSORIES OR BRICK PAVERS. PROVIDE 2 BUBBLERS EACH FOR IRRIGATION. TREE WELLS TO BE COORDINATED WITH RECOMMENDATIONS FROM SAN MATEO CITY ARBORIST. SEE 1/A8.2 FOR DETAIL.
 - 15. ALL DOOR ENTRANCES SHALL BE A MIN. SIZE OF 36" WIDE BY 72" HIGH, TYP.
 - 16. SHORT TERM BICYCLE PARKING, TYP. WELLE CIRCULAR RACK, IN-GROUND, ROUND PIPE, STAINLESS STEEL, 2'-6" CLEARANCE FROM ALL SURROUNDING OBJECTS IN COMPLIANCE WITH SAN MATEO MUNICIPAL CODE
 - 17. EXISTING FENCE TO BE REMOVED
 - 18. PROPOSED GAS SERVICE POINT OF CONNECTION
 - 19. STORM DRAIN SYSTEM TO MAINFOLD AND CONNECT TO CITY MAIN LOCATED IN EL CAMINO REAL
 - 20. PROPOSED TRASH PICKUP OFF OF PUBLIC ALLEY, OVERHEAD COILING DOOR TO PROVIDE ACCESS.
 - 21. PROPOSED UNDERGROUND ELECTRICAL SERVICE POINT OF CONNECTION
 - 22. CONNECT NEW STORM SEWER LATERAL INTO 36" MAIN - PER CITY OF SAN MATEO STANDARDS AND SUBJECT TO CAL TRANS ENCROACHMENT PERMIT
 - 23. REPLACE EXISTING CATCH BASIN INLETS ALONG PROPERTY FRONTAGE, IN ANY, PER CITY OF SAN MATEO STANDARDS
 - 24. GAP CLOSURES TO BE INSTALLED BETWEEN ADJACENT PARKING GARAGE STRUCTURE AND THE PROJECT EXTERIOR WALLS WHERE EXPOSED TO ALLOW SEISMIC MOVEMENT AND TO CLOSE OFF INACCESSIBLE GAP BETWEEN STRUCTURES WHERE SHOWN
 - 25. PROPOSED OFF-SITE LOADING ZONE TO BE DESIGNATED BY CITY OF SAN MATEO TO SATISFY PROJECT'S LOADING SPACE REQUIREMENT PLACED IN ACCORDANCE WITH PLANNING STAFF INPUT
 - 26. EXISTING CANARY ISLAND PINE, TO BE REMOVED UPON RECOMMENDATION BY SAN MATEO CITY ARBORIST AND SAN MATEO PLANNING STAFF. APPROPRIATE REPLACEMENT TBD BY SAN MATEO CITY ARBORIST
 - 27. 6" CONCRETE CURB
 - 28. CONTINUE BRICK BAND ON SIDEWALK ALONG E. 3RD AVE IN LINE WITH STREET TREES
 - 29. LONG-TERM BICYCLE PARKING DERO ULTRA SPACE SAVER, FLOOR MOUNTED, MIN. 4' AISLE IN COMPLIANCE W/ SAN MATEO MUNICIPAL CODE

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ALL DIMENSIONS AND MATERIALS, SPECIFICATIONS, CONDITIONS, AND MATERIALS SHALL BE AS SHOWN ON THIS DRAWING AND SHALL NOT BE SUBJECT TO CHANGE OR DISCREPANCY WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

PRELIMINARY UTILITIES PLAN

Sheet Title: 1/8"=1'-0"
Scale: 1/8"=1'-0"
Project No. 1421 DRAWN BY: CLB
Sheet Size: 30 x 42

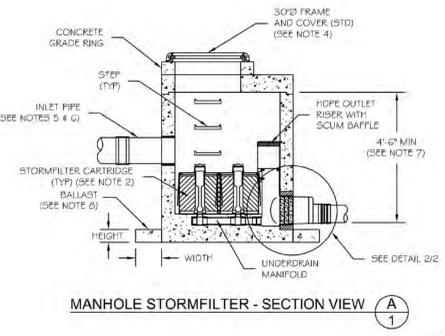
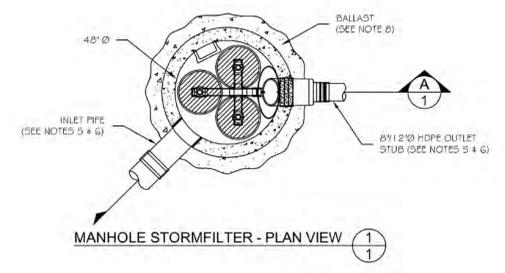
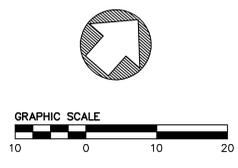
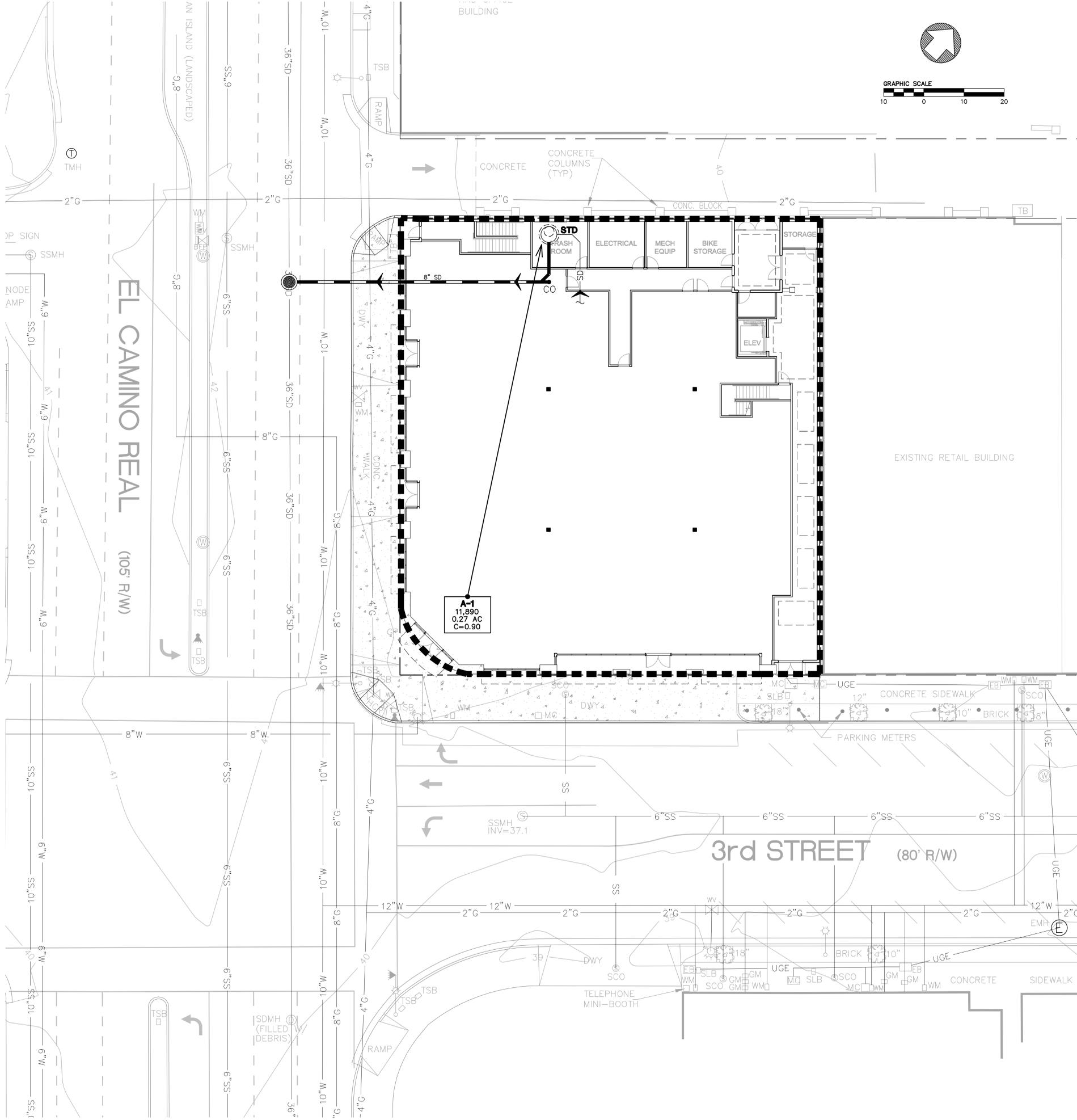


PROPOSED SITE PLAN 1
1/8" = 1'-0"

LEGEND

- PROPERTY LINE
- GRID LINE





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STORMWATER SOLUTIONS

PRECAST 48" MANHOLE STORMFILTER
PLAN AND SECTION VIEWS
STANDARD DETAIL

DATE: 09/20/05 SCALE: NONE FILE NAME: MHSF3-48PC-DTL DRAWN: MMW CHECKED: ARG

1/2

STORMWATER TREATMENT DEVICE

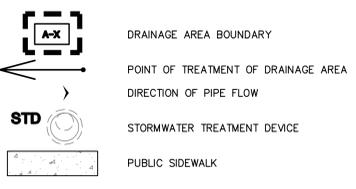
STD SIZING TABLE							
RAINFALL DATA:							
Source: C.3 Stormwater Technical Guidance (San Mateo County)							
Treatment Storm Intensity 0.20 in/hr							
AREAS			RESULTS				
DRAINAGE AREA	TRIBUTARY AREA (SQ. FT.)	TRIBUTARY AREA (AC)	COMPOSITE RUNOFF COEFFICIENT	TREATMENT REQUIRED	TOTAL AREA TREATED (AC)	%	
A-1	11,890	0.27	0.90	0.049 CFS			
STD UNIT CALCULATIONS							
<i>Size Treatment Unit</i>							
Contech 48" Manhole Storm Filter Unit (Maximum 3 filters)							
Treatment Required				T _{required} (cfs)	0.05		
Filter Cartridges Used	2			T _{provided} (cfs)	0.07		
Filter Treatment	0.033						
Does Filter Treatment Flow > Treatment Required Flow?							YES
Unit Maximum Peak Flow				Q _{unit} (cfs)	1.50		
Project Peak Flow (intensity=1.87 in/hr)				Q _{project} (cfs)	0.46		
Does Unit Maximum Peak Flow > Project Peak Flow?							YES

STORMWATER TREATMENT FLOW CALCULATIONS

NOTES

- THE EXISTING CONDITIONS AND BOUNDARY INFORMATION WERE ASSUMED FROM INFORMATION PROVIDED BY THE A.L.T.A. SURVEY DATED 5/9/2000 BY SLS ASSOCIATES, INC.
- THIS PROJECT IS A "SPECIAL PROJECT (CATEGORY A)" PER APPENDIX J OF THE C.3 TECHNICAL GUIDANCE THAT QUALIFIES FOR 100% LID EXEMPTION.
- LANDSCAPE PLANTERS ON 2ND AND 3RD FLOORS TO BE HARD PIPED AND DRAINED INTO THE PROPOSED STORMWATER TREATMENT DEVICE. CONNECTIONS TO BE COORDINATED WITH PLUMBING DRAWINGS AT A LATER TIME IN CONSTRUCTION DOCUMENTS.

LEGEND:





CLIENT

221 SOUTH EL CAMINO REAL
SAN MATEO, CA

ISSUE	DATE
PLANNING PRE-APP	09.05.14
PLANNING APPLICATION	01.20.15
PLANNING RE-SUBMITTAL	04.17.15
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ALL DIMENSIONS AND MATERIALS
SHOWN ARE APPROXIMATE. CONTRACTORS
AND SUPPLIERS SHALL VERIFY ALL DIMENSIONS
AND MATERIALS BEFORE ORDERING. VERIFY ALL
DIMENSIONS AND MATERIALS BEFORE ORDERING.

**EXISTING
SITE
PLAN**

Sheet Title
Scale: 1/8" = 1'-0"
PROJECT NO. 1421 DRAWN BY: CLB
Sheet Size: 30" x 42"

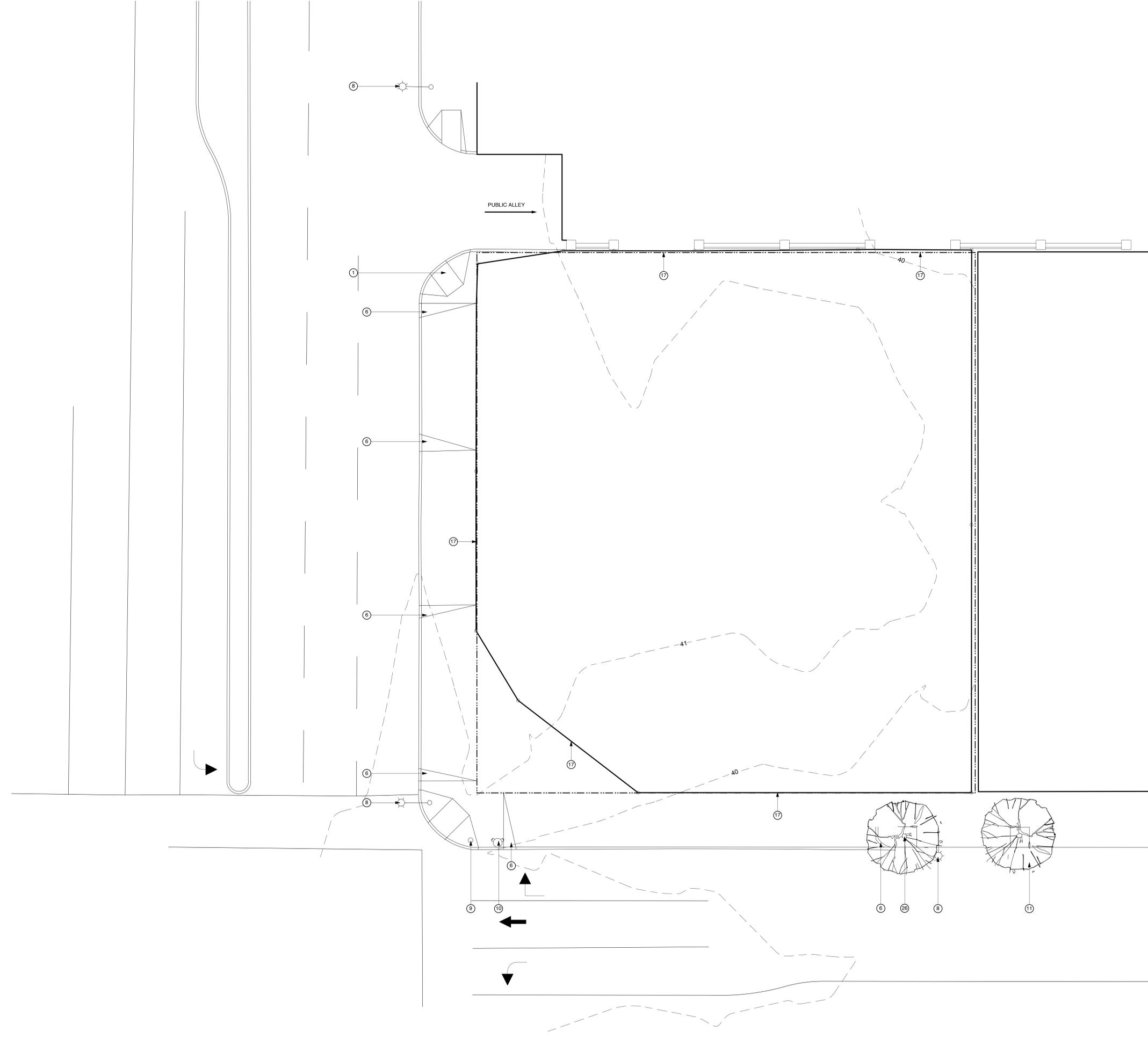
A1.0

GENERAL NOTES

- A. DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR FOUNDATION WALL, TYP. U.O.N.
- B. SEE A0.0 FOR BUILDING AREA CALCULATIONS.
- C. G.C. TO COORDINATE MECH. AND PLUMB. VENTS AS PERMITTED BY CODES TO MINIMIZE ROOF PENETRATIONS.
- D. G.C. TO COORD. AND INSTALL VENTING FOR ALL CONCEALED ROOF AREAS AND OTHER EXTRA METAL FRAMED VOIDS.
- E. ALL GSM FLASHING SHALL BE GALVANIZED OR BONDERIZED AND PAINTED OR RECEIVE COATINGS TO MATCH SURROUNDING MATERIALS.
- F. ROOF SLOPES NOTED ARE MINIMUMS. ROOF SLOPES OF CRICKETS SHOWN DIAGRAMMATICALLY ON ROOF PLANS MAY EXCEED 3/8"/FT TO ACHIEVE PROPER ROOF DRAINAGE AS SHOWN.
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- L. THRESHOLDS MUST BE ADA COMPLIANT AT ALL DOORS INTERIOR AND EXTERIOR

SHEET NOTES

- NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.
- 1. PEDESTRIAN RAMPS TO BE COORDINATED WITH CALTRANS PER CALTRANS STANDARD PLAN SHEET RSP A88A AND BASED ON EXISTING CROSSWALKS
 - 2. PARKING GARAGE ON ADJACENT SITE W/ ALLEY BELOW
 - 3. REMOVE EXISTING CURB, GUTTER, AND SIDEWALK ALONG 3RD AVENUE AND EL CAMINO FRONTAGE, IF ANY, PER CITY OF SAN MATEO STANDARDS 3-1-141A.
 - 4. RELOCATE GAS LINE IF REQUIRED BY PG&E FOR INSTALLATION OF STREET TREES AS SHOWN
 - 5. LOCATE SANITARY SEWER SERVICE FROM 3RD AVENUE MAIN, IF IN SERVICEABLE CONDITION AND SIZE, UTILIZE EXISTING LATERAL. OTHERWISE REMOVE EXISTING SEWER LATERAL AND CLEAN OUT AND REPLACE WITH NEW 6" DIAMETER SEWER LATERAL PER CITY OF SAN MATEO STANDARD 3-1-101. SEE WASTE WATER ANALYSIS FOR INFORMATION CALCULATIONS ON SYSTEM CAPACITY
 - 6. REMOVE EXISTING DRIVEWAY CURB CUT AND REPLACE WITH SIDEWALK, CURB AND GUTTER PER CITY STANDARD 3-1-141A
 - 7. RETAIL BUILDING ON ADJACENT SITE
 - 8. EXISTING STREETLIGHT TO BE SLIGHTLY RELOCATED BASED ON COORDINATION WITH CALTRANS REGARDING PEDESTRIAN RAMP
 - 9. EXISTING TRAFFIC SIGNAL TO BE SLIGHTLY RELOCATED BASED ON COORDINATION WITH CALTRANS REGARDING PEDESTRIAN RAMP
 - 10. EXISTING FIRE HYDRANT
 - 11. EXISTING STREET TREE TO REMAIN
 - 12. INSTALL STREET TREES: TYPICAL OF 3 ON EL CAMINO REAL FRONTAGE, SPECIES AND SIZE TO BE CONFIRMED WITH SAN MATEO CITY ARBORIST
 - 13. INSTALL STREET TREES: TYPICAL OF 3 ON 3RD AVENUE FRONTAGE, SPECIES AND SIZE TO BE CONFIRMED WITH SAN MATEO CITY ARBORIST
 - 14. PROVIDE 5' X 5' TREE WELL: OT SERIES, TITLE 24 WITH 3/8" OR LESS SLOTS, PRE-PAINTED WITH ARMORLOCK 400, BLACK COLOR BY URBAN ACCESSORIES OR BRICK PAVERS. PROVIDE 2 BUBBLERS EACH FOR IRRIGATION. TREE WELLS TO BE COORDINATED WITH RECOMMENDATIONS FROM SAN MATEO CITY ARBORIST. SEE 1/A8.2 FOR DETAIL.
 - 15. ALL DOOR ENTRANCES SHALL BE A MIN. SIZE OF 36" WIDE BY 72" HIGH, TYP.
 - 16. SHORT TERM BICYCLE PARKING, TYP. WELLS CIRCULAR RACK, IN-GROUND, ROUND PIPE, STAINLESS STEEL, 2'-6" CLEARANCE FROM ALL SURROUNDING OBJECTS IN COMPLIANCE WITH SAN MATEO MUNICIPAL CODE
 - 17. EXISTING FENCE TO BE REMOVED
 - 18. PROPOSED GAS SERVICE POINT OF CONNECTION
 - 19. STORM DRAIN SYSTEM TO MAINFOLD AND CONNECT TO CITY MAIN LOCATED IN EL CAMINO REAL
 - 20. PROPOSED TRASH PICKUP OFF OF PUBLIC ALLEY, OVERHEAD COILING DOOR TO PROVIDE ACCESS
 - 21. PROPOSED UNDERGROUND ELECTRICAL SERVICE POINT OF CONNECTION
 - 22. CONNECT NEW STORM SEWER LATERAL INTO 36" MAIN - PER CITY OF SAN MATEO STANDARDS AND SUBJECT TO CAL TRANS ENCROACHMENT PERMIT
 - 23. REPLACE EXISTING CATCH BASIN INLETS ALONG PROPERTY FRONTAGE, IN ANY, PER CITY OF SAN MATEO STANDARDS
 - 24. GAP CLOSURES TO BE INSTALLED BETWEEN ADJACENT PARKING GARAGE STRUCTURE AND THE PROJECT EXTERIOR WALLS WHERE EXPOSED TO ALLOW SEISMIC MOVEMENT AND TO CLOSE OFF INACCESSIBLE GAP BETWEEN STRUCTURES WHERE SHOWN
 - 25. PROPOSED OFF-SITE LOADING ZONE TO BE DESIGNATED BY CITY OF SAN MATEO TO SATISFY PROJECT'S LOADING SPACE REQUIREMENT, PLACED IN ACCORDANCE WITH PLANNING STAFF INPUT
 - 26. EXISTING CANARY ISLAND PINE, TO BE REMOVED UPON RECOMMENDATION BY SAN MATEO CITY ARBORIST AND SAN MATEO PLANNING STAFF. APPROPRIATE REPLACEMENT TBD BY SAN MATEO CITY ARBORIST
 - 27. 6" CONCRETE CURB
 - 28. CONTINUE BRICK BAND ON SIDEWALK ALONG E. 3RD AVE IN LINE WITH STREET TREES
 - 29. LONG-TERM BICYCLE PARKING DERO ULTRA SPACE SAVER, FLOOR MOUNTED, MIN. 4' AISLE IN COMPLIANCE W/ SAN MATEO MUNICIPAL CODE



LEGEND

- PROPERTY LINE
- GRID LINE

EXISTING SITE PLAN 1

1/8" = 1'-0"





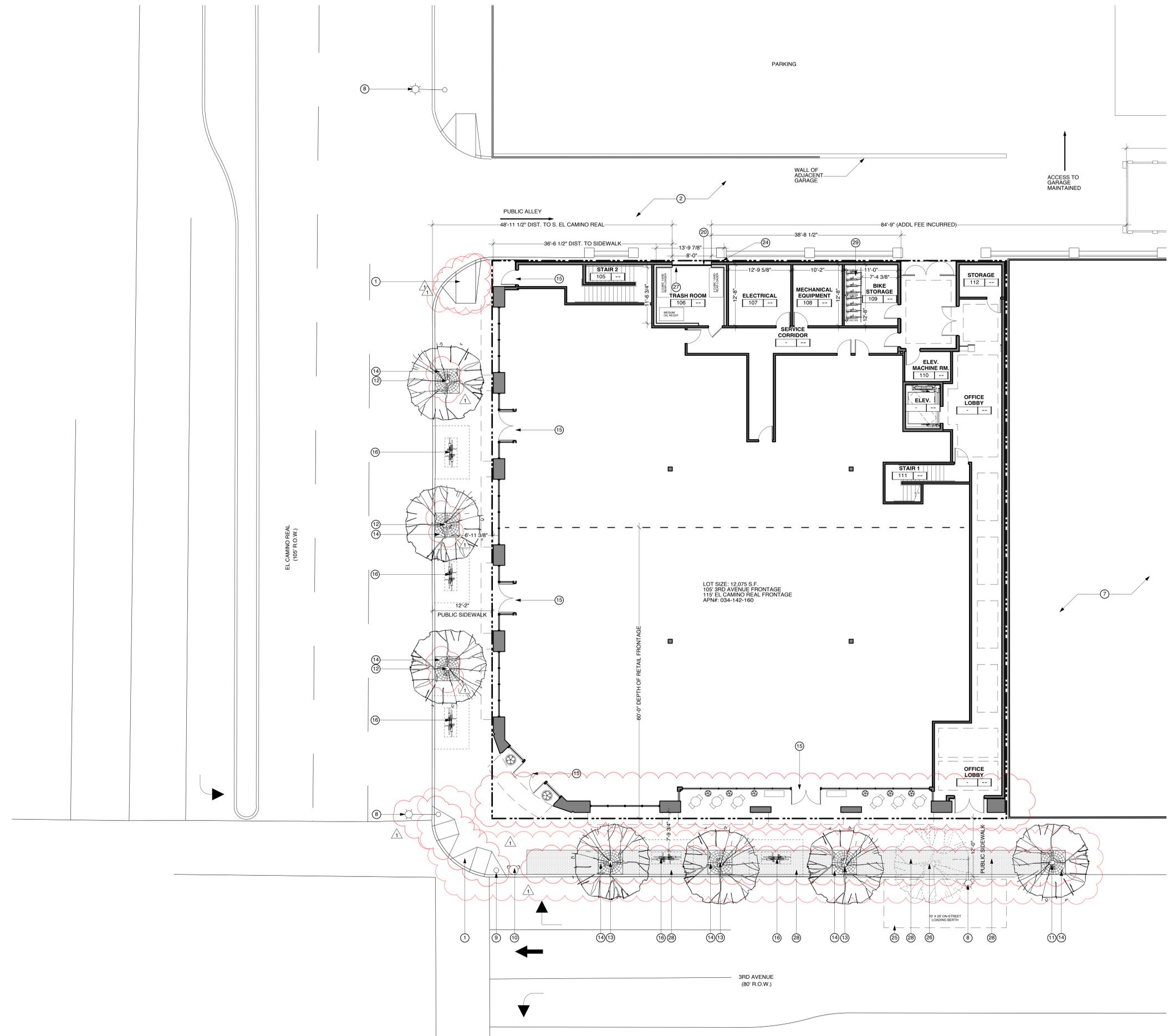
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PROPOSED SITE PLAN

Sheet Title: PROPOSED SITE PLAN
Scale: 1/8" = 1'-0"
Project No: 1421 DRAWN BY: CLB
Sheet Size: 30" x 42"

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PROPOSED SITE PLAN 1

1/8" = 1'-0"

LEGEND

- PROPERTY LINE
- GRID LINE



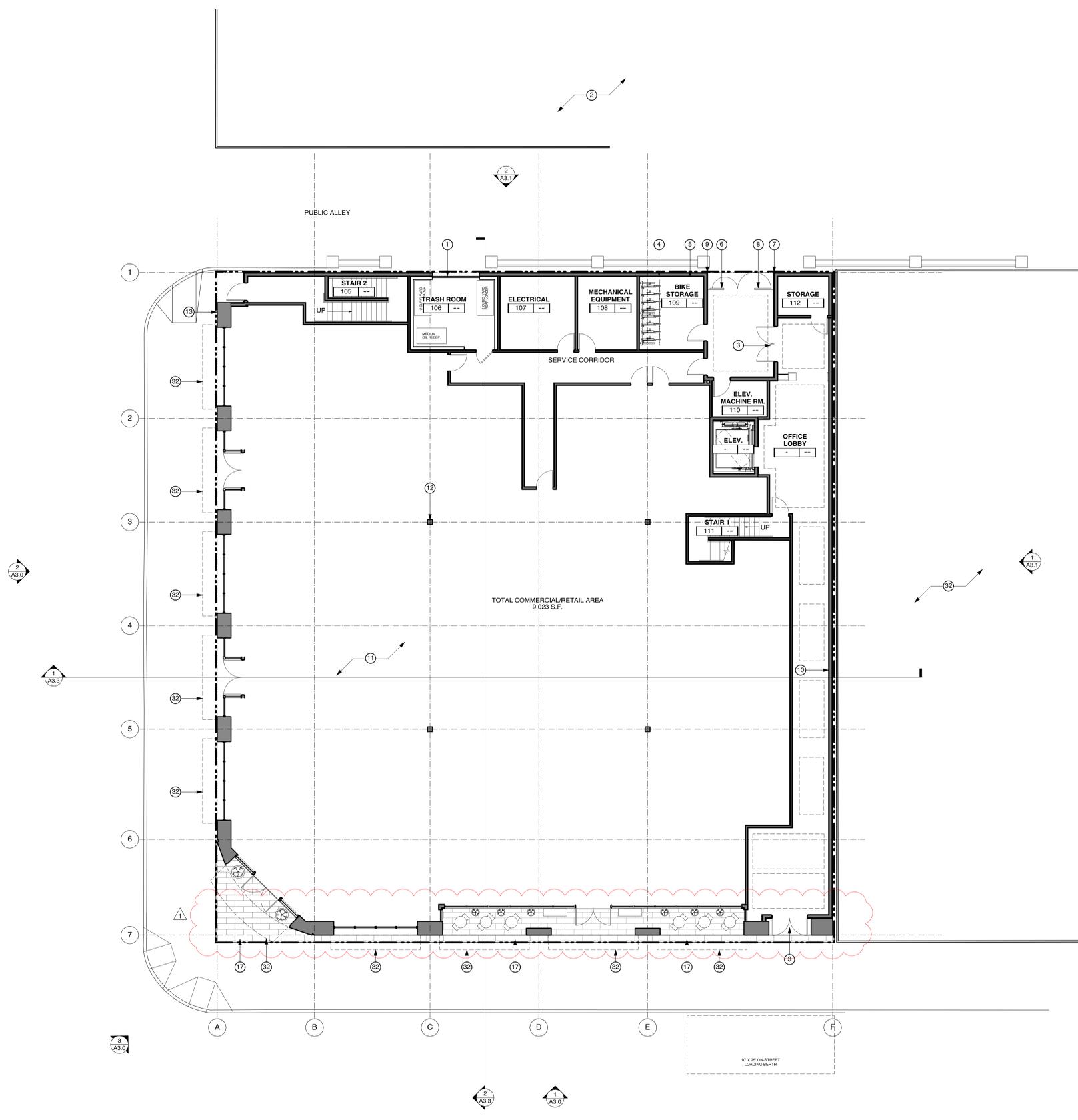


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 - 5. MECHANICAL SCREEN
 - 6. GATE W/ PANIC HARDWARE IN OPEN POSITION DURING BUSINESS HOURS.
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 - 10. ONE-HOUR WALL ASSEMBLIES AT ALL EXTERIOR WALLS REQUIRED FOR TYPE V-1 HOUR CONSTRUCTION.
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 - 17. REQUIRED OPEN SPACE AT GROUND FLOOR
 - 18. ALL WINDOW OPENINGS ON EAST ELEVATION SHALL BE PROTECTED WITH 3/4 HOUR RATED ASSEMBLIES.
 - 19. 3'X3' SKYLIGHTS WITH DIFFUSED LENSE ABOVE STAIR #2. SKYLIGHTS SHALL BE 1-HOUR RATED ASSEMBLIES.
 - 20. PROVIDE 1-HOUR RATED PARAPET WALL ALL ALONG NORTH SIDE OF BUILDING TO 36" MINIMUM ABOVE ROOF DECKING WITH NON-COMBUSTIBLE EXTERIOR FINISH.
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 - 22. 4'X4' SKYLIGHTS WITH DIFFUSED LENSE ABOVE 3RD FLOOR ELEVATOR LOBBY. SKYLIGHTS SHALL BE 1-HOUR RATED ASSEMBLIES.
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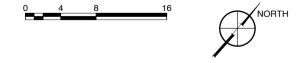


221 SOUTH EL CAMINO REAL
SAN MATEO, CA

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LEGEND
 - - - - - PROPERTY LINE
 - - - - - GRID LINE

FLOOR PLAN 1
1/8" = 1'-0"



BUILDING PLANS FLOOR 1
 SHEET TITLE: BUILDING PLANS FLOOR 1
 SCALE: 1/8"=1'-0"
 PROJECT NO. 1421 DRAWN BY: CLB
 SHEET SIZE: 30" x 42"

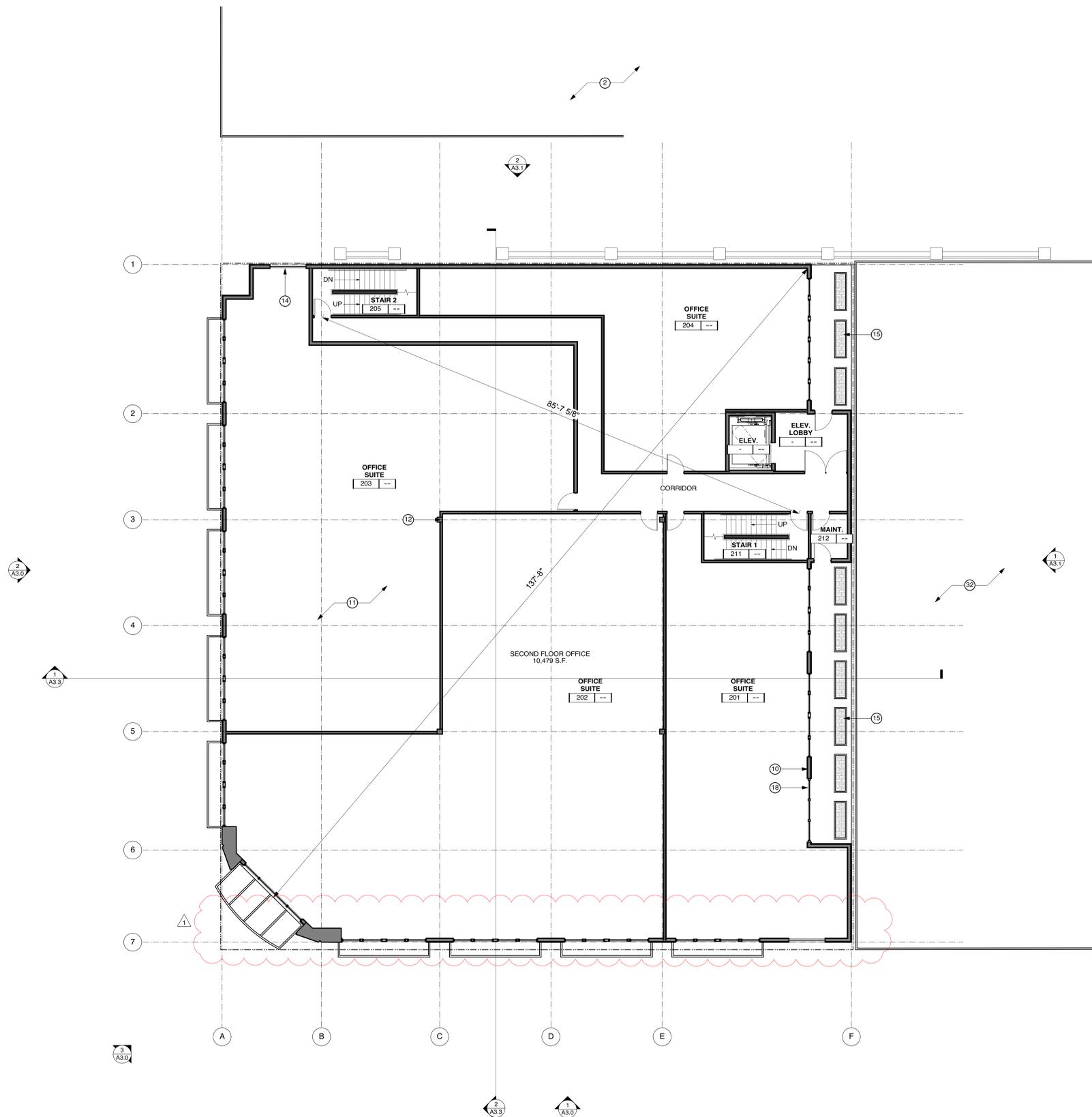


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LEGEND

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- GRID LINE



FLOOR PLAN 2 1
1/8" = 1'-0"

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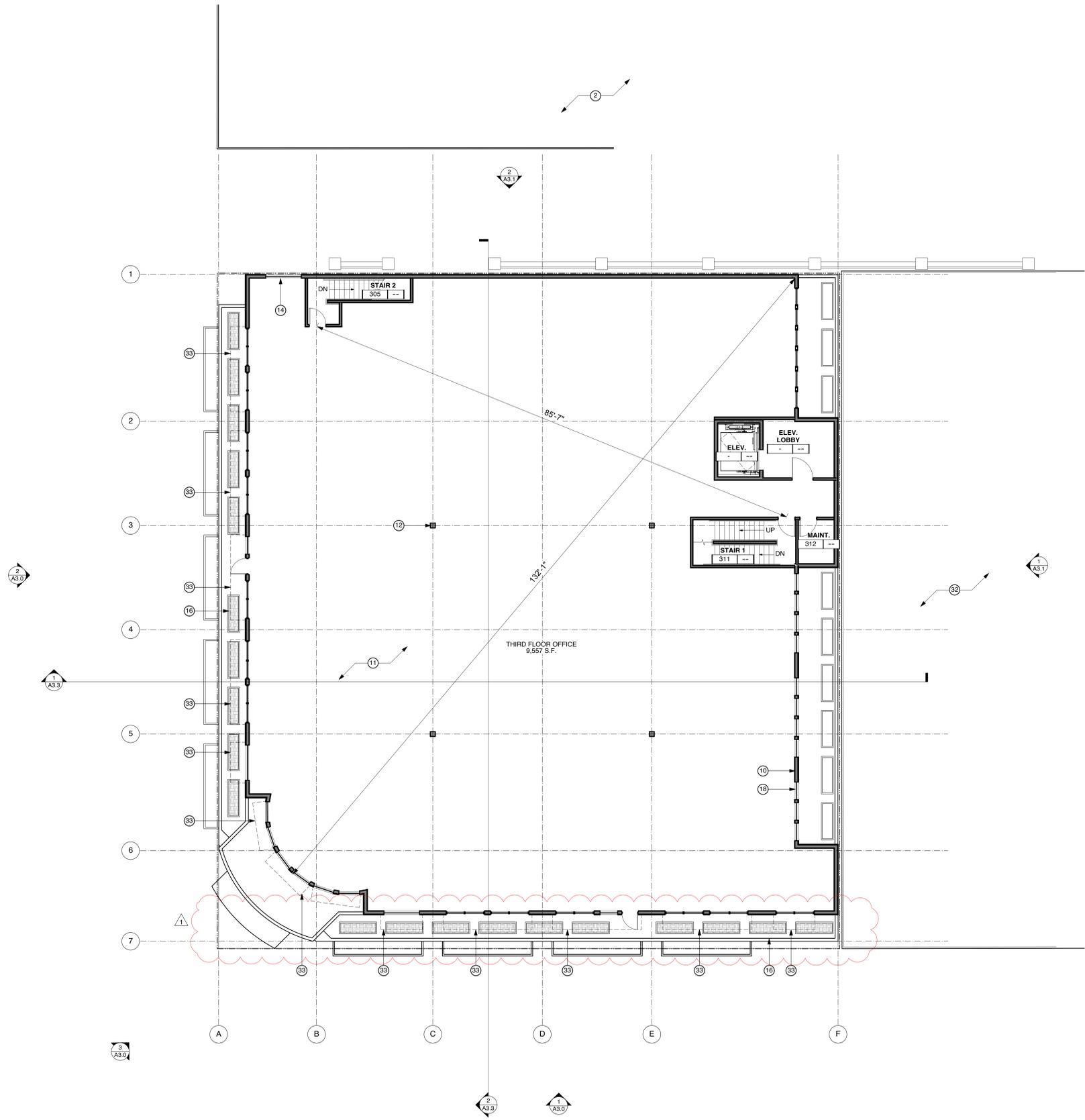
BUILDING PLANS FLOOR 2

Sheet Title: BUILDING PLANS FLOOR 2
Scale: 1/8"=1'-0"
Project No. 1421 DRAWN BY: CLB
Sheet Size: 30 x 42



- GENERAL NOTES**
- DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR FOUNDATION WALL, TYP. U.O.N.
 - SEE A0.0 FOR BUILDING AREA CALCULATIONS.
 - G.C. TO COORDINATE MECH. AND PLUMB. VENTS AS PERMITTED BY CODES TO MINIMIZE ROOF PENETRATIONS.
 - G.C. TO COORD. AND INSTALL VENTING FOR ALL CONCEALED ROOF AREAS AND OTHER EXTRA METAL FRAMED VOIDS.
 - ALL GSM FLASHING SHALL BE GALVANIZED OR BONDERIZED AND PAINTED OR RECEIVE COATINGS TO MATCH SURROUNDING MATERIALS.
 - ROOF SLOPES NOTED ARE MINIMUMS. ROOF SLOPES OF CRICKETS SHOWN DIAGRAMMATICALLY ON ROOF PLANS MAY EXCEED 3/8" FT TO ACHIEVE PROPER ROOF DRAINAGE AS SHOWN.
 - G.C. TO INCLUDE AND COORDINATE ROOF CRICKETS IN FIELD FOR PROPER DRAINAGE IN ACCORDANCE WITH CODE AND ROOF MANUFACTURER'S WARRANTY.
 - G.C. SHALL PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY CBC SECTION 2408 AND AS REQUIRED BY CHAPTER 7.
 - G.C. SHALL INCLUDE IN GMP COST TO ADJUST, LOCATE AND COORDINATE SPRINKLERS.
 - G.C. SHALL INCLUDE IN GMP ANY MINOR ADJUSTMENTS TO DROP SOFFITS TO COVER MEP EQUIPMENT.
 - CONCRETE CURBS SHALL BE INCLUDED WHETHER INDICATED OR NOT AT ALL LOCATIONS FOR EXT. WATER BREAK.
 - THRESHOLDS MUST BE ADA COMPLIANT AT ALL DOORS INTERIOR AND EXTERIOR.

- SHEET NOTES**
- NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.
- TRASH ROOM SHALL BE SERVED BY AN AUTOMATIC CLOSING 3/4 HOUR RATED ROLL-UP DOOR.
 - PARKING GARAGE ON ADJACENT SITE W/ ALLEY BELOW
 - LOBBY DOOR(S) SHALL HAVE CLEAR GLASS PANELS TO ALLOW UNOBSTRUCTED VIEWS INTO THE LOBBY.
 - DERO ULTRA SPACE SAVER RACK, WALL MOUNTED, 8 BIKE CAPACITY.
 - MECHANICAL SCREEN
 - GATE W/ PANIC HARDWARE IN OPEN POSITION DURING BUSINESS HOURS.
 - PROJECT SPONSOR TO INSTALL CONVEX MIRROR NEAR LOBBY ENTRY AS DIRECTED BY SAN MATEO POLICE DEPARTMENT.
 - NOTE: DOOR HARDWARE FOR DOORS ACCESSIBLE FROM PARKING GARAGE SHALL BE SELF-CLOSING, AND (EXCEPT FOR LOBBY DOOR) BE ACCESSIBLE ONLY BY KEY.
 - ADDITIONAL LIGHTING SHALL BE INSTALLED ON BUILDING TO PROVIDE INCREASED ILLUMINATION IN AND AROUND LOBBY ENTRANCE.
 - ONE-HOUR WALL ASSEMBLIES AT ALL EXTERIOR WALLS REQUIRED FOR TYPE V-1 HOUR CONSTRUCTION.
 - INTERIOR IMPROVEMENTS FOR BUILDING OCCUPANTS TO BE DETERMINED.
 - STRUCTURAL COLUMN, TYP.
 - ADDITIONAL LIGHTING AND SIGNAGE SHALL BE INSTALLED ON THE BUILDING TO PROVIDE INCREASED ILLUMINATION FOR AND WARNING OF CROSSWALK LOCATED AT THE GARAGE ENTRY.
 - OPENING FRONTS R-O-W WITH DISTANCE GREATER THAN 10' TO CENTERLINE, THEREFORE NO PROTECTION REQUIRED.
 - PREFABRICATED CONCRETE PLANTERS AT SECOND FLOOR LIGHTWELL
 - PREFABRICATED CONCRETE PLANTERS AT THIRD FLOOR SETBACK
 - REQUIRED OPEN SPACE AT GROUND FLOOR
 - ALL WINDOW OPENINGS ON EAST ELEVATION SHALL BE PROTECTED WITH 3/4 HOUR RATED ASSEMBLIES.
 - 3'X3' SKYLIGHTS WITH DIFFUSED LENSE ABOVE STAIR #2. SKYLIGHTS SHALL BE 1-HOUR RATED ASSEMBLIES.
 - PROVIDE 1-HOUR RATED PARAPET WALL ALL ALONG NORTH SIDE OF BUILDING TO 36" MINIMUM ABOVE ROOF DECKING WITH NON-COMBUSTIBLE EXTERIOR FINISH.
 - ROOF AREA RESERVED FOR FUTURE INSTALLATION OF PHOTO VOLTAGE PANELS.
 - 4'X4' SKYLIGHTS WITH DIFFUSED LENSE ABOVE 3RD FLOOR ELEVATOR LOBBY. SKYLIGHTS SHALL BE 1-HOUR RATED ASSEMBLIES.
 - 4'X4' SKYLIGHTS WITH DIFFUSED LENSE ABOVE STAIR #1. SKYLIGHTS SHALL BE 1-HOUR RATED ASSEMBLIES.
 - ROOF DRAINS
 - PROVIDE 1-HOUR RATED PARAPET WALL ALL ALONG EAST SIDE OF BUILDING TO 36" MINIMUM ABOVE ROOF DECKING WITH NON-COMBUSTIBLE EXTERIOR FINISH.
 - STAIR #1 PENTHOUSE
 - ELEVATOR PENTHOUSE
 - HVAC PACKAGE UNIT
 - HVAC CHILLER
 - HVAC BOILER
 - RETAIL BUILDING ON ADJACENT SITE
 - GLASS AWNING ABOVE
 - ALUMINUM AWNING ABOVE



- LEGEND**
- PROPERTY LINE
 - GRID LINE



FLOOR PLAN 3 1
1/8" = 1'-0"

ISSUE	DATE
PLANNING PRE-APP	09.05.14
PLANNING APPLICATION	01.20.15
PLANNING RE-SUBMITTAL	04.17.15
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BUILDING PLANS FLOOR 3

Sheet Title: BUILDING PLANS FLOOR 3
Scale: 1/8"=1'-0"
Project No. 1421 DRAWN BY: CLB
Sheet Size: 30 x 42

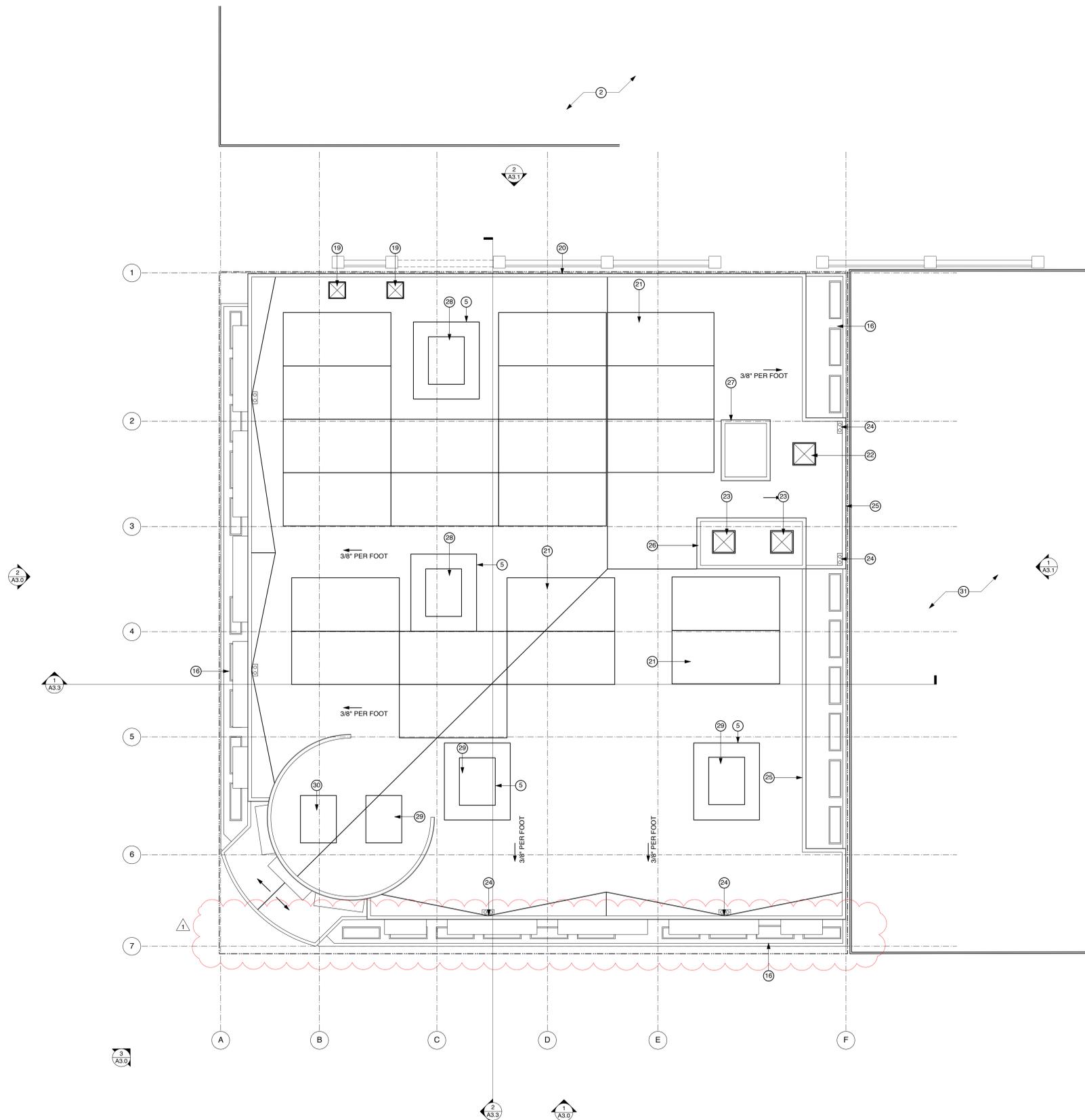


GENERAL NOTES

- A. DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR FOUNDATION WALL, TYP. U.O.N.
- B. SEE A0.0 FOR BUILDING AREA CALCULATIONS.
- C. G.C. TO COORDINATE MECH. AND PLUMB. VENTS AS PERMITTED BY CODES TO MINIMIZE ROOF PENETRATIONS.
- D. G.C. TO COORD. AND INSTALL VENTING FOR ALL CONCEALED ROOF AREAS AND OTHER EXTRA METAL FRAMED VOIDS.
- E. ALL GSM FLASHING SHALL BE GALVANIZED OR BONDERIZED AND PAINTED OR RECEIVE COATINGS TO MATCH SURROUNDING MATERIALS.
- F. ROOF SLOPES NOTED ARE MINIMUMS. ROOF SLOPES OF CRICKETS SHOWN DIAGRAMMATICALLY ON ROOF PLANS MAY EXCEED 3/8" FT TO ACHIEVE PROPER ROOF DRAINAGE AS SHOWN.
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- H. G.C. SHALL PROVIDE SAFETY GLAZING IN ALL LOCATIONS REQUIRED BY CBC SECTION 2408 AND AS REQUIRED BY CHAPTER 7.
- I. G.C. SHALL INCLUDE IN GMP COST TO ADJUST, LOCATE AND COORDINATE SPRINKLERS.
- J. G.C. SHALL INCLUDE IN GMP ANY MINOR ADJUSTMENTS TO DROP SOFFITS TO COVER MEP EQUIPMENT.
- K. CONCRETE CURBS SHALL BE INCLUDED WHETHER INDICATED OR NOT AT ALL LOCATIONS FOR EXT. WATER BREAK.
- L. THRESHOLDS MUST BE ADA COMPLIANT AT ALL DOORS INTERIOR AND EXTERIOR.

SHEET NOTES

- NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.
1. TRASH ROOM SHALL BE SERVED BY AN AUTOMATIC CLOSING 3/4 HOUR RATED ROLL-UP DOOR.
 2. PARKING GARAGE ON ADJACENT SITE W/ ALLEY BELOW.
 3. LOBBY DOOR(S) SHALL HAVE CLEAR GLASS PANELS TO ALLOW UNOBSTRUCTED VIEWS INTO THE LOBBY.
 4. DERO ULTRA SPACE SAVER RACK. WALL MOUNTED. 8 BIKE CAPACITY.
 5. MECHANICAL SCREEN.
 6. GATE W/ PANIC HARDWARE IN OPEN POSITION DURING BUSINESS HOURS.
 7. PROJECT SPONSOR TO INSTALL CONVEX MIRROR NEAR LOBBY ENTRY AS DIRECTED BY SAN MATEO POLICE DEPARTMENT.
 8. NOTE: DOOR HARDWARE FOR DOORS ACCESSIBLE FROM PARKING GARAGE SHALL BE SELF-CLOSING, AND (EXCEPT FOR LOBBY DOOR) BE ACCESSIBLE ONLY BY KEY.
 9. ADDITIONAL LIGHTING SHALL BE INSTALLED ON BUILDING TO PROVIDE INCREASED ILLUMINATION IN AND AROUND LOBBY ENTRANCE.
 10. ONE-HOUR WALL ASSEMBLIES AT ALL EXTERIOR WALLS REQUIRED FOR TYPE V-1 HOUR CONSTRUCTION.
 11. INTERIOR IMPROVEMENTS FOR BUILDING OCCUPANTS TO BE DETERMINED.
 12. STRUCTURAL COLUMN, TYP.
 13. ADDITIONAL LIGHTING AND SIGNAGE SHALL BE INSTALLED ON THE BUILDING TO PROVIDE INCREASED ILLUMINATION FOR AND WARNING OF CROSSWALK LOCATED AT THE GARAGE ENTRY.
 14. OPENING FRONTS R-O-W WITH DISTANCE GREATER THAN 10' TO CENTERLINE, THEREFORE NO PROTECTION REQUIRED.
 15. PREFABRICATED CONCRETE PLANTERS AT SECOND FLOOR LIGHTWELL.
 16. PREFABRICATED CONCRETE PLANTERS AT THIRD FLOOR SETBACK.
 17. REQUIRED OPEN SPACE AT GROUND FLOOR.
 18. ALL WINDOW OPENINGS ON EAST ELEVATION SHALL BE PROTECTED WITH 3/4 HOUR RATED ASSEMBLIES.
 19. 3'X3' SKYLIGHTS WITH DIFFUSED LENSE ABOVE STAIR #2. SKYLIGHTS SHALL BE 1-HOUR RATED ASSEMBLIES.
 20. PROVIDE 1-HOUR RATED PARAPET WALL ALL ALONG NORTH SIDE OF BUILDING TO 36" MINIMUM ABOVE ROOF DECKING WITH NON-COMBUSTIBLE EXTERIOR FINISH.
 21. ROOF AREA RESERVED FOR FUTURE INSTALLATION OF PHOTO VOLTIC PANELS.
 22. 4'X4' SKYLIGHTS WITH DIFFUSED LENSE ABOVE 3RD FLOOR ELEVATOR LOBBY. SKYLIGHTS SHALL BE 1-HOUR RATED ASSEMBLIES.
 23. 4'X4' SKYLIGHTS WITH DIFFUSED LENSE ABOVE STAIR #1. SKYLIGHTS SHALL BE 1-HOUR RATED ASSEMBLIES.
 24. ROOF DRAINS.
 25. PROVIDE 1-HOUR RATED PARAPET WALL ALL ALONG EAST SIDE OF BUILDING TO 36" MINIMUM ABOVE ROOF DECKING WITH NON-COMBUSTIBLE EXTERIOR FINISH.
 26. STAIR #1 PENTHOUSE.
 27. ELEVATOR PENTHOUSE.
 28. HVAC PACKAGE UNIT.
 29. HVAC CHILLER.
 30. HVAC BOILER.
 31. RETAIL BUILDING ON ADJACENT SITE.
 32. GLASS AWNING ABOVE.
 33. ALUMINUM AWNING ABOVE.



LEGEND

- PROPERTY LINE
- GRID LINE



ROOF PLAN 1
1/8" = 1'-0"

ISSUE	DATE
PLANNING PRE-APP	09.05.14
PLANNING APPLICATION	01.20.15
PLANNING RE-SUBMITTAL	04.17.15
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ALL DIMENSIONS AND MATERIALS ARE APPROXIMATE UNLESS OTHERWISE SPECIFIED. THE ARCHITECT AND ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS.

BUILDING PLANS ROOF

Sheet Title: _____
Scale: 1/8"=1'-0"
Project No. 1421 DRAWN BY: CLB
Sheet Size: 30 x 42

SHEET NOTES

- NOTE: NOT ALL NOTES APPEAR ON EVERY PAGE.
- CLOCKFACE W/ NIGHT TIME ILLUMINATION
 - CEMENT PLASTER CORNICE AND TRIM BAND
 - ALUMINUM WINDOW SYSTEM
 - CABLE RAILING
 - METAL AWNINGS ABOVE WINDOWS, TYPICAL @ 3RD FLOOR
 - ALUMINUM WINDOW SYSTEM, COLOR AND PROFILE TO MATCH ALUMINUM STOREFRONT SYSTEM AT GROUND FLOOR
 - RETAIL BUILDING ON ADJACENT SITE
 - BRICK SOLDIER COURSE @ PARAPET
 - CAST STONE CLADDING AT COLUMNS, DARK GREY
 - DECORATIVE WALL SCONCE LIGHT
 - METAL AND GLASS CANOPIES AT STOREFRONT WINDOWS
 - ALUMINUM STOREFRONT SYSTEM, DOVE GREY
 - 40.60' AVG ELEVATION AT BACK OF WALK FOR HEIGHT MEASUREMENT
 - MECHANICAL SCREEN
 - CEMENT PLASTER FINISH ABOVE STOREFRONTS
 - CAST-IN-PLACE CONCRETE COLUMN BASES, FINISH AND COLOR TO MATCH CAST STONE ABOVE
 - STACK BOND BRICK FINISH TO MATCH SOUTH & WEST ELEVATIONS
 - CEMENT PLASTER FINISH TO MATCH SOUTH & WEST ELEVATIONS
 - EXISTING ADJACENT BUILDING
 - UNEXPOSED WALL
 - EXISTING PARKING GARAGE IN FOREGROUND
 - GATE SHOWN IN OPEN POSITION
 - EXISTING OPENING IN PARKING GARAGE WALL
 - PEDESTRIAN ACCESS FROM PARKING GARAGE TO 3RD AVENUE, GATES LEFT OPEN DURING BUSINESS HOURS
 - WALL PACK LIGHT FIXTURE
 - ROLL UP DOOR @ TRASH ROOM
 - PRE-FABRICATED CONCRETE PLANTER
 - BUILDING SETBACK FROM MIDDLE OF R.O.W.
 - HVAC PACKAGE UNIT
 - HVAC CHILLER
 - HVAC BOILER



WEST ELEVATION - EL CAMINO REAL 2
1/8" = 1'-0"



CORNER ELEVATION - 3RD AVE & S. EL CAMINO REAL 3
1/8" = 1'-0"



SOUTH ELEVATION - 3RD AVENUE 1
1/8" = 1'-0"

LEGEND

--- PROPERTY LINE

--- GRID LINE

0 4 8 16

ISSUE	DATE
PLANNING PRE-APP	09.05.14
PLANNING APPLICATION	01.20.15
PLANNING RE-SUBMITTAL	04.17.15
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RENDERED ELEVATIONS

Sheet Title: _____
Scale: 1/8"=1'-0"
Project No. 1421 DRAWN BY: CLB
Sheet Size: 30 x 42

NOTE: RENDERINGS FOR DESIGN INTENT ONLY. STREET TREES AND BIKE RACKS SHOWN IN APPROXIMATE LOCATIONS. SEE SITE PLAN FOR SPECIFIC LOCATIONS.



SHEET NOTES

- NOTE: NOT ALL NOTES APPEAR ON EVERY PAGE.
- CLOCKFACE W/ NIGHT TIME ILLUMINATION
 - CEMENT PLASTER CORNICE AND TRIM BAND
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 - HVAC PACKAGE UNIT
 - HVAC CHILLER
 - HVAC BOILER



WEST ELEVATION - EL CAMINO REAL 2
1/8" = 1'-0"



SOUTH ELEVATION - 3RD AVENUE 1
1/8" = 1'-0"



CORNER ELEVATION - 3RD AVE & S. EL CAMINO REAL 3
1/8" = 1'-0"

LEGEND

- PROPERTY LINE
- GRID LINE



ISSUE	DATE
PLANNING PRE-APP	09.05.14
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BUILDING ELEVATIONS

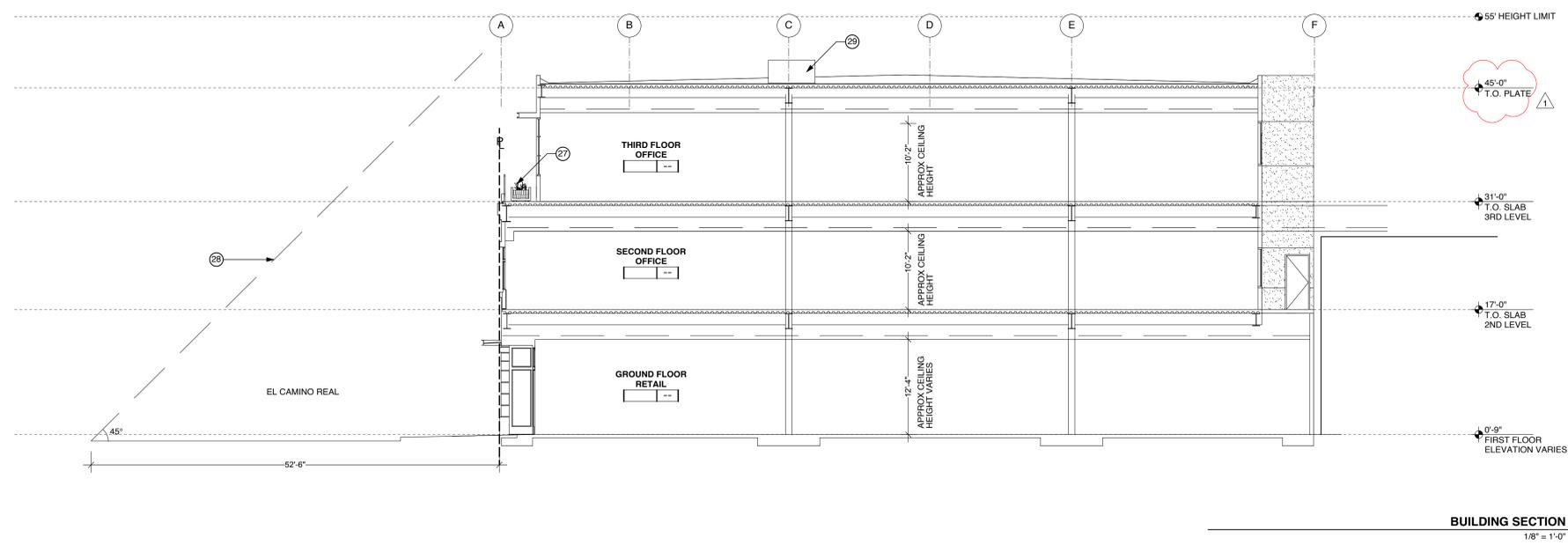
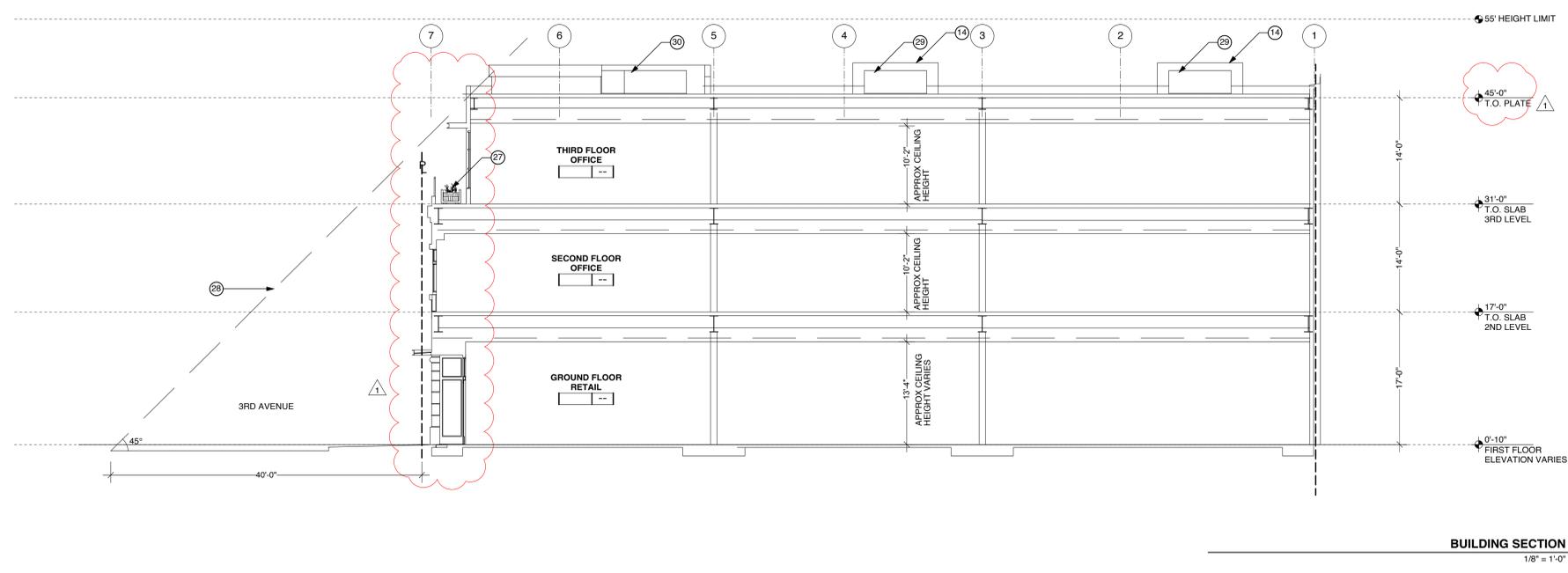
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Scale: 1/8" = 1'-0"
PROJECT NO. 1421 DRAWN BY: CLB
Sheet Size: 30 x 42

SHEET NOTES

- NOTE: NOT ALL NOTES APPEAR ON EVERY PAGE.
- CLOCKFACE W/ NIGHT TIME ILLUMINATION
 - CEMENT PLASTER CORNICE AND TRIM BAND
 - ALUMINUM WINDOW SYSTEM
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 - PRE-FABRICATED CONCRETE PLANTER
 - BUILDING SETBACK FROM MIDDLE OF R.O.W.
 - HVAC PACKAGE UNIT
 - HVAC CHILLER
 - HVAC BOILER

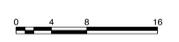


ISSUE	DATE
PLANNING PRE-APP	09.05.14
PLANNING APPLICATION	01.20.15
PLANNING RE-SUBMITTAL	04.17.15
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LEGEND

- PROPERTY LINE
- GRID LINE



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AND SHALL NOT BE REPRODUCED, COPIED OR
DISSEMINATED WITHOUT THE WRITTEN CONSENT
OF THE ARCHITECT.

BUILDING SECTIONS

Sheet Title: BUILDING SECTIONS
Scale: 1/8"=1'-0"
Project No. 1421 DRAWN BY: CLB
Sheet Size: 30 x 42

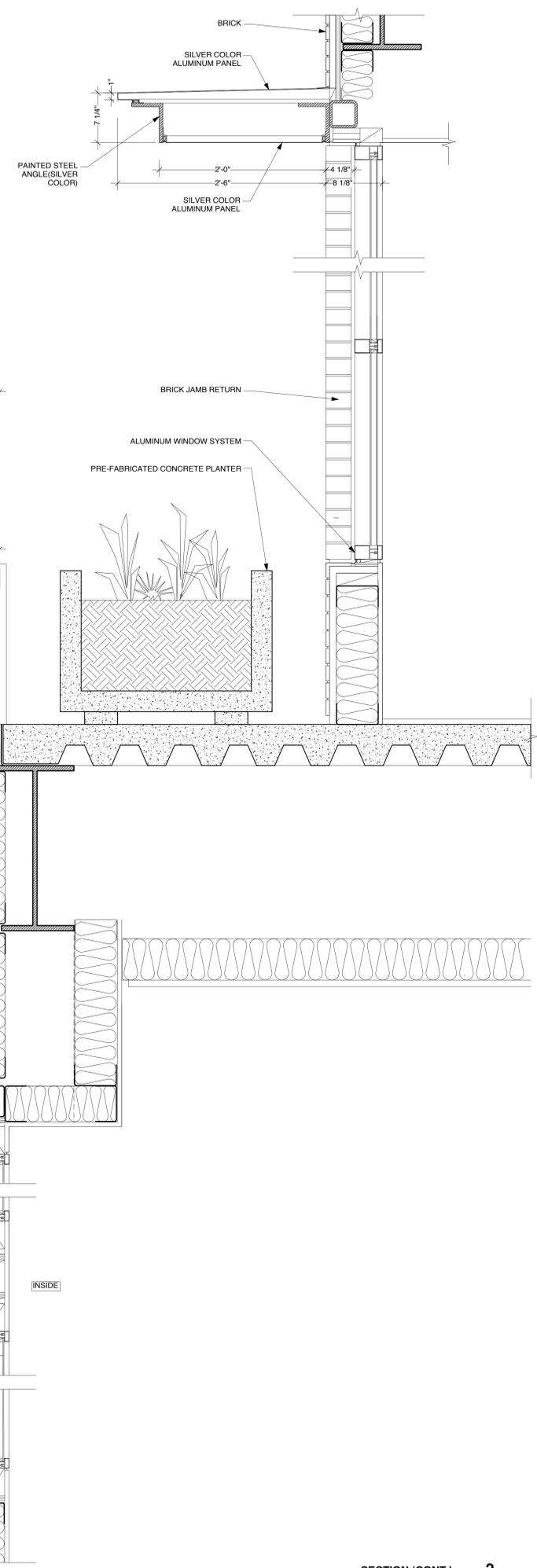


ISSUE	DATE
PLANNING PRE-APP	09.05.14
PLANNING APPLICATION	01.20.15
PLANNING RE-SUBMITTAL	03.31.15

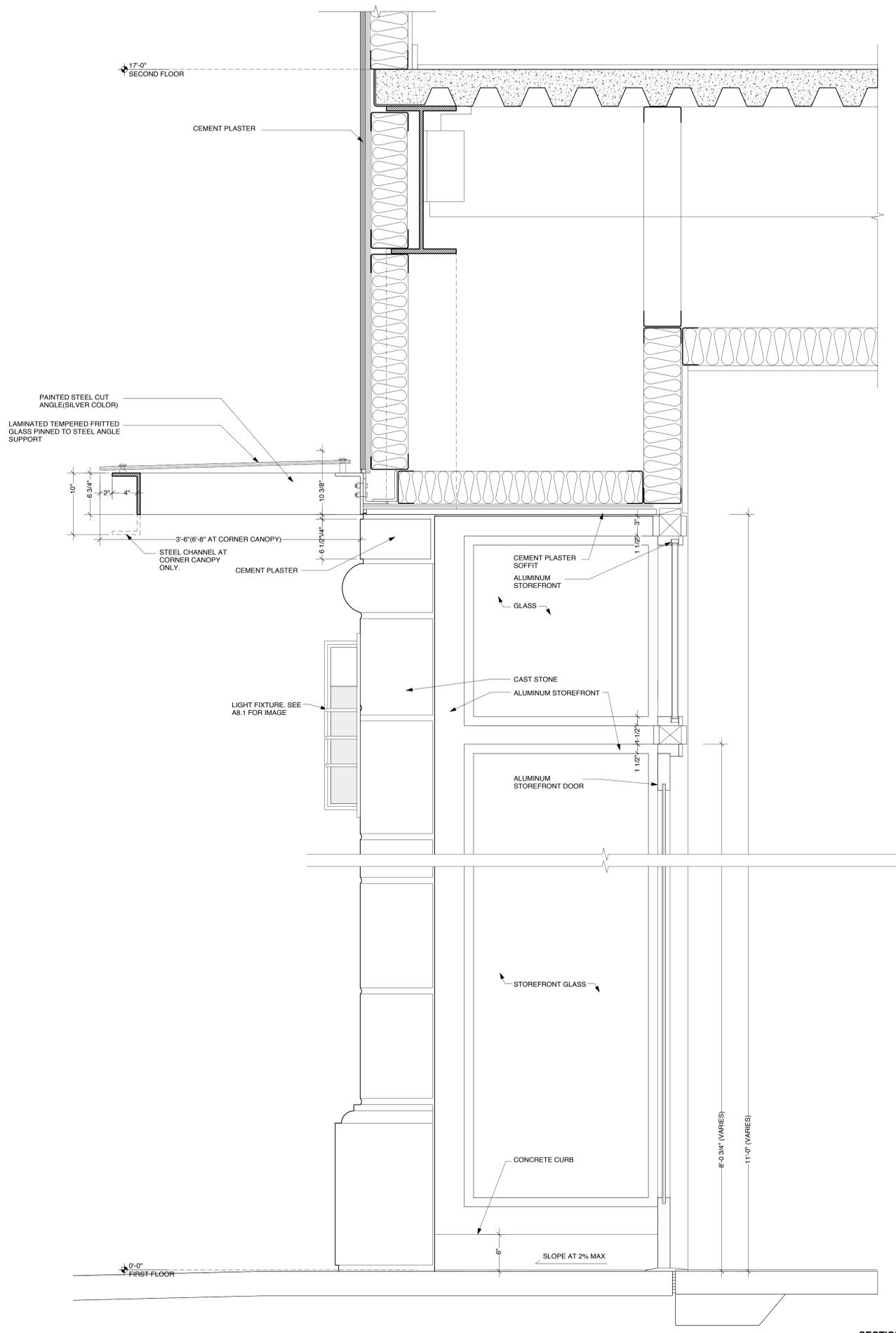
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BUILDING DETAILS

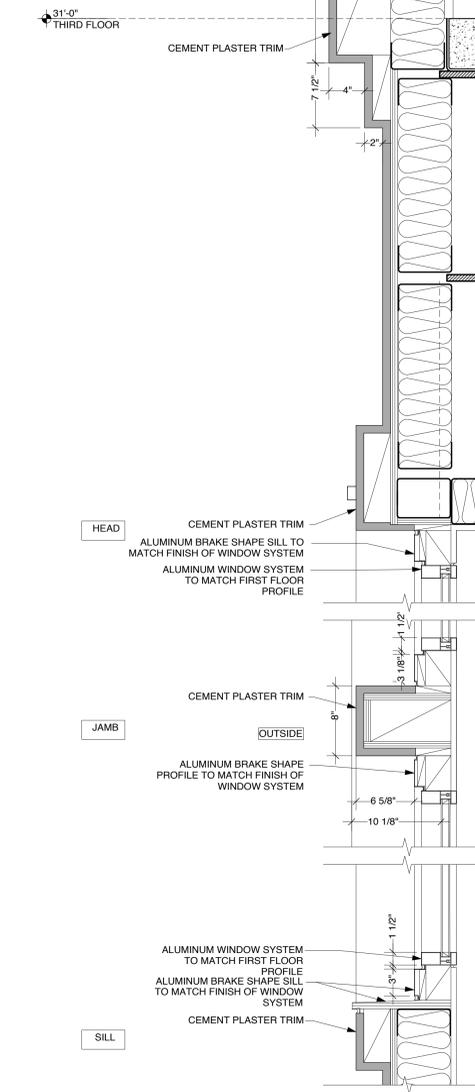
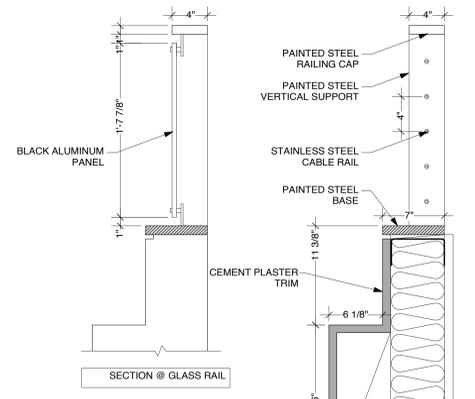
SCALE AS NOTED
PROJECT NO. 1421 DRAWN BY CB
SHEET SIZE: 30 x 42



SECTION (CONT.) 2
1 1/2" = 1'-0"



SECTION 1
1 1/2" = 1'-0"



SECTION (CONT.) 2
1 1/2" = 1'-0"



ISSUE	DATE
PLANNING PRE-APP	09.05.14
PLANNING APPLICATION	01.20.15
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**BUILDING
DETAILS**

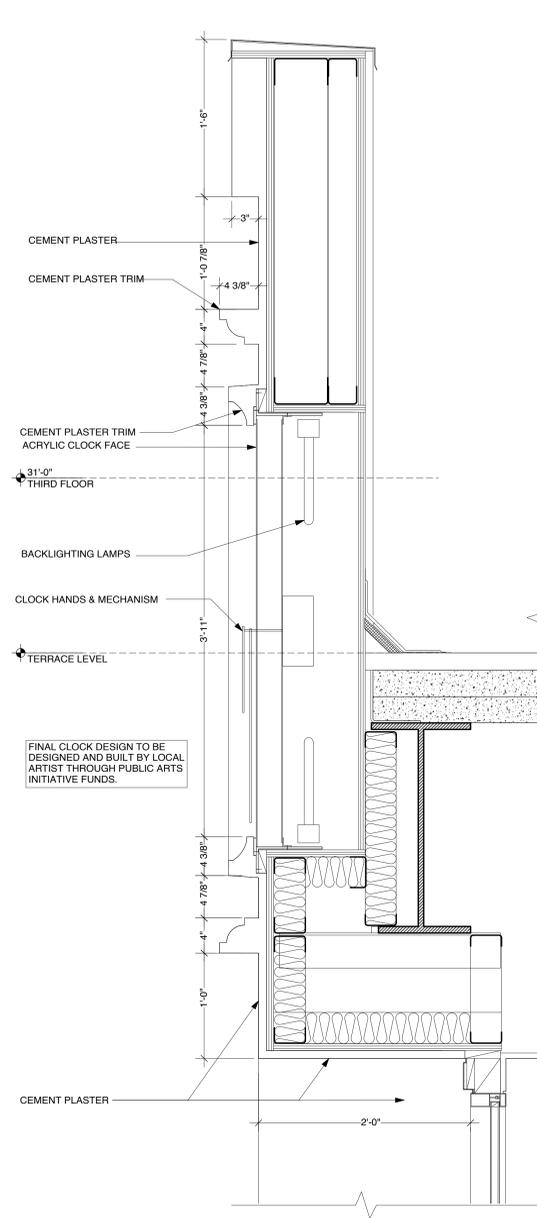
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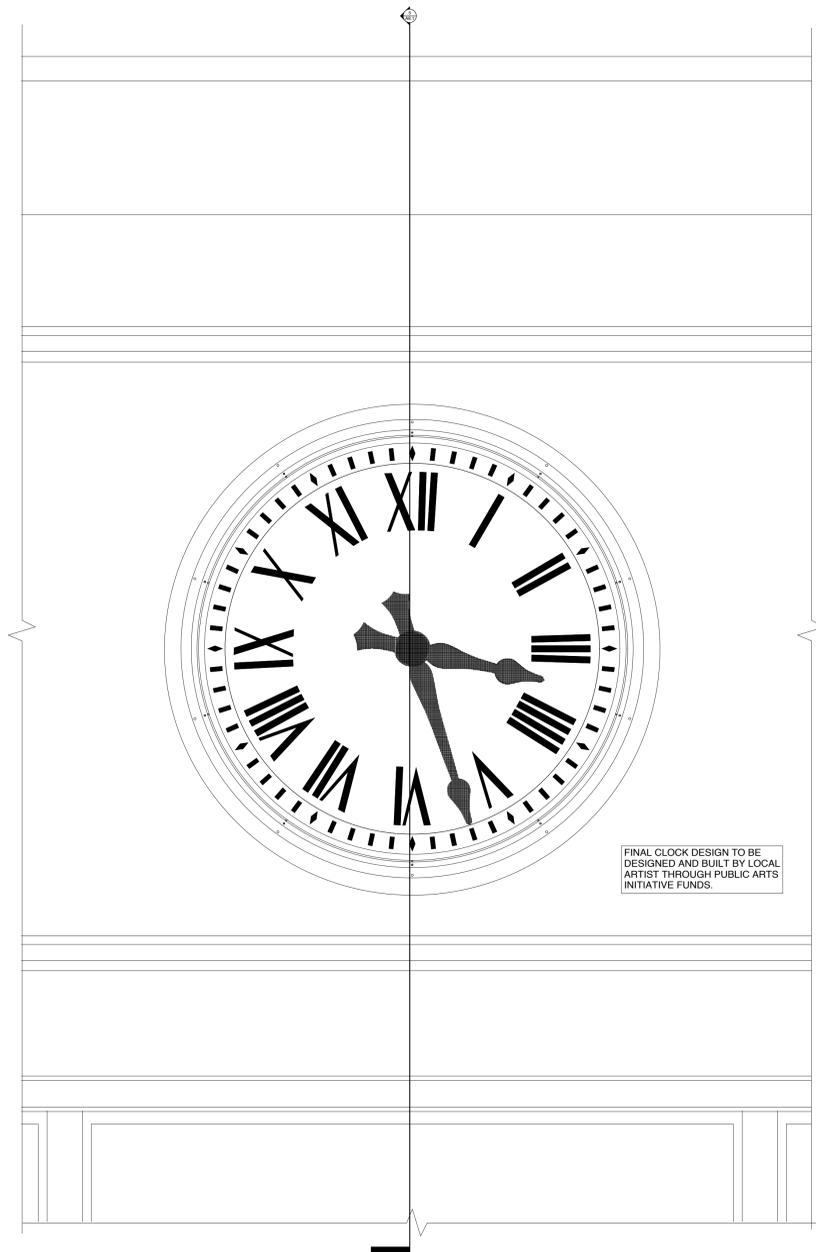
LIGHTING FIXTURE @ GARAGE ENTRY
NTS 13



WALL SCONCE @ CAST-STONE PILLARS
NTS 9



SECTION DETAIL @ CLOCK
1 1/2" = 1'-0" 5



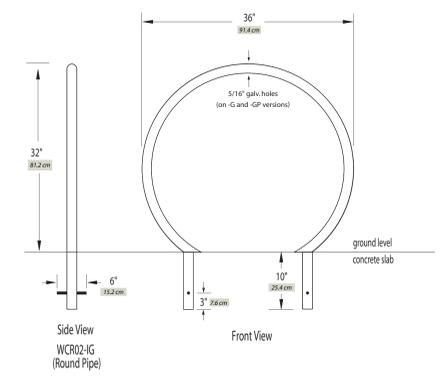
ELEVATION DETAIL @ CLOCK
1 1/2" = 1'-0" 1

ISSUE	DATE
PLANNING PRE-APP	09.05.14
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PLANNING RE-SUBMITTAL	03.31.15
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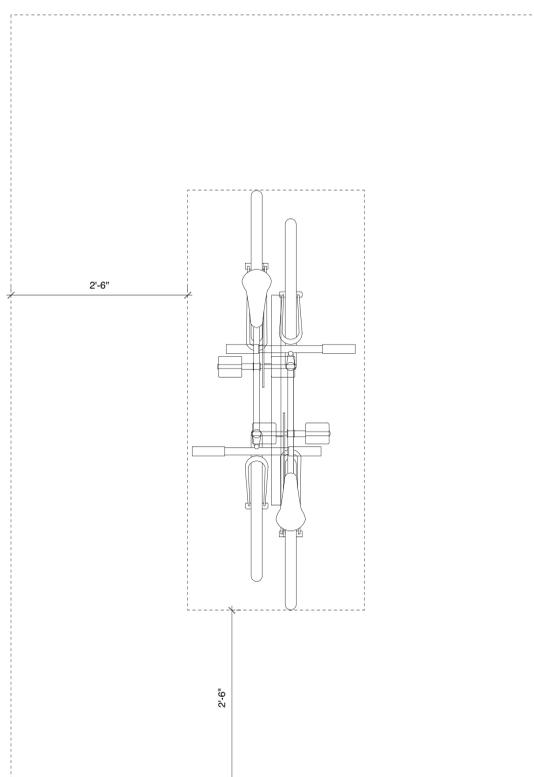
NOTES
ALL DIMENSIONS AND WEIGHTS MATERIALS, APPLICABLE WHERE SPECIFICALLY INDICATED. THIS INFORMATION IS FOR THE ARCHITECT'S USE ONLY AND IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

1 SITE DETAILS

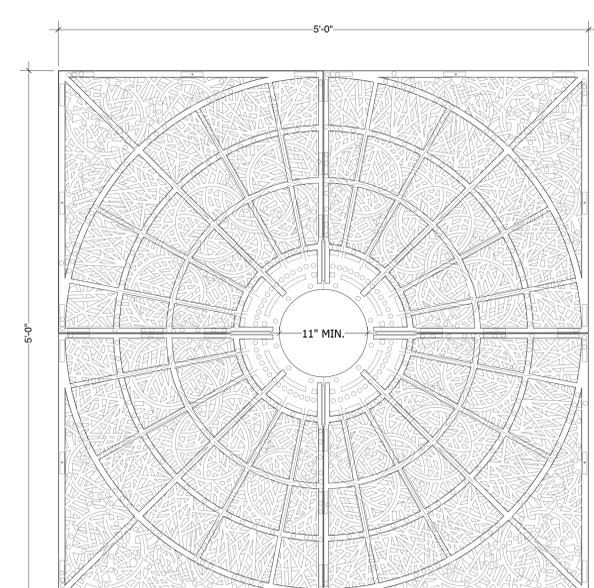
Sheet Title: AS NOTED
Scale: 1/2" = 1'-0"
Project No: 1421
Drawn By: CB
Sheet Size: 30 x 42



SHORT-TERM BIKE PARKING - WELLE CIRCULAR 3
1" = 1'-0"



SHORT-TERM BIKE PARKING 2
1" = 1'-0"



TREE GRATE TBD IN ACCORDANCE W/ CITY ARBORIST RECOMMENDATIONS. OPENINGS NO LARGER THAN 3/8". POSSIBILITY OF BRICK PAVERS IN LIEU OF TREE GRATE. GRATE SHOWN IS URBAN ACCESSORIES OT-TITLE 24 5'X5'.

TREE GRATE 1
1 1/2" = 1'-0"

ULTRA SPACE SAVER

- Modular design fits nearly any space
- U-lock compatible
- Easy assembly
- Double your capacity

FINISH OPTIONS

Powder Coat

Galvanized

MOUNT OPTIONS

Floor

Wall

*Shown with optional tire stop

www.dero.com | 1-888-337-6729

LONG-TERM BIKE PARKING - DERO ULTRA SPACE SAVER 4
1" = 1'-0"