

HIGHWAY 92 & CONCAR: A TRANSIT ORIENTED DEVELOPMENT

WEST BUILDING 1 - ISSUE FOR PERMIT

400 CONCAR DR, SAN MATEO, CA 94402

CODE ANALYSIS

Hines 92 & Concar
Office Building over Garage Podium

Code Analysis November 19th, 2013

APN # 035-202-010 for West Building Site

Project Address: 400 Concar Drive

Legal Jurisdiction: San Mateo, CA

Construction Type: **Type 1A for Podium Garage**
Type III-B for Office Building

Sprinkler System: 100% Sprinklered

Fire Alarm: Fire Alarm provided

Building Occupancy: 'B' for Office Building, 'S-2' occupancy for Podium Garage

Building Codes: 2010 California Building Code, 2010 California Plumbing Code, 2010 California Mechanical Code, 2010 California Electrical Code, 2010 California Energy Code Accessibility Guidelines (CAC - Title 24) The Ordinance Requirements & Building Codes of the City of San Mateo

CBC Height Limit: 55' plus 20' = 75' (per CBC table 503 and CBC 504.2)

Planning Height Limit: 55'

New Total Building Area:

Garage Level P3.....	33,231 s.f. (Type 1A)
Garage Level P2.....	33,298 s.f. (Type 1A)
Garage Level P1/ Office Level L1.....	34,248 s.f. (Type 1A)
Office Level L2.....	30,433 s.f. (Type III-B)
Office Level L3.....	30,433 s.f. (Type III-B)
Office Level L4.....	30,433 s.f. (Type III-B)
Roof Boiler Room.....	1,872 s.f. (Type III-B)
Total Type I-A Construction:	100,777 s.f.
Total Type III-B Construction:	93,171 s.f.

Allowable Building Area per story (CBC 506):
I-A for "B" and "S-2" Occupancies: Unlimited

III-B for "B" Occupancy

Aa = (At + [At x If] + [At x Is])

Aa = (19,000 + [19,000 x .75] + 19,000 x 2) = 71,250 s.f. per floor

If = [F/P - .25] W/ 30

If = [x/x' - .25] 30/30

If = [75] x 1 = .75

Since the office building will be Type III-b construction the total allowable area for office building is (2) x 71,250 s.f. = 142,500 s.f. therefore office building is ok for proposed building area.

Building Construction Type: I-A

Per Table 601 any new construction to be:

- Structural frame 3 hr
- Bearing walls- Exterior 3 hr
- Bearing walls- Interior 3 hr
- Nonbearing walls-exterior 0 hr
- Shafts 2 hr
- Floors and secondary members 2 hr
- Roofs 1- 1/2 hr

Building Construction Type: III-B

Per Table 601 any new construction to be:

- Structural frame 0 hr
- Bearing walls- Exterior 0 hr (see note 1 below)
- Bearing walls- Interior 0 hr
- Nonbearing walls-exterior 0 hr
- Shafts 0 hr (2 hour since extends into Type I-A)
- Floor/Ceilings 0 hr
- Roofs 0 hr

Code Analysis Notes:

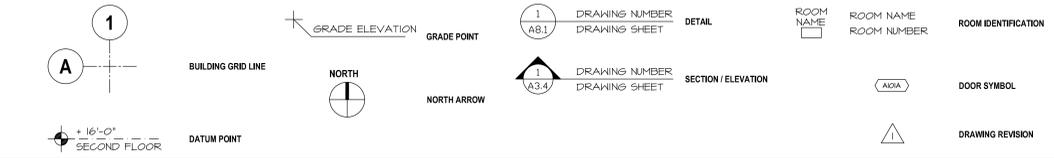
- Exterior Wall Protection:** According to CBC table 602, for B, A3 occupancy there is no exterior rating protection required due to >10' setback from side and assumed property lines.
- Podium Rating:** Three hour fire rating at concrete podium level (identified as level two's floor structure) due to I-A to III-B separation for garage to office.
- Area Separation:** None.

TOILET RM. FIXTURE REQUIREMENTS:

LEVEL:	AREA & OCCUPANTS:	MALE FIXTURES REQUIRED:	PROVIDED:	FEMALE FIXTURES REQUIRED:	PROVIDED:
GARAGE LEVEL 3	-	-	(SEE NOTE 5)	-	(SEE NOTE 5)
GARAGE LEVEL 2	-	-	(SEE NOTE 5)	-	(SEE NOTE 5)
GARAGE LEVEL 1 / OFFICE LEVEL 1 (LOBBY)	1950 / 200 = 10 OCC.	1 M.G. / 0 U.R. / 1 L.V.	1 M.G. / 0 U.R. / 1 L.V.	1 M.G. / 1 L.V.	1 M.G. / 1 L.V.
OFFICE LEVEL 2	26,268 / 200 = 131 OCC.	4 M.G. / 2 U.R. / 2 L.V.	4 M.G. / 2 U.R. / 2 L.V.	6 M.G. / 2 L.V.	6 M.G. / 2 L.V.
OFFICE LEVEL 3	21,364 / 200 = 107 OCC.	4 M.G. / 2 U.R. / 2 L.V.	4 M.G. / 2 U.R. / 2 L.V.	6 M.G. / 2 L.V.	6 M.G. / 2 L.V.
OFFICE LEVEL 4	21,364 / 200 = 107 OCC.	4 M.G. / 2 U.R. / 2 L.V.	4 M.G. / 2 U.R. / 2 L.V.	6 M.G. / 2 L.V.	6 M.G. / 2 L.V.

- NOTES:
- FIXTURES REQUIREMENTS PER C.P.C. TABLE 4-1.
 - PLUMBING FIXTURES REQUIRED AT LEVEL 11 TENANT AREAS SHALL BE PART OF FUTURE TENANT IMPROVEMENT.
 - PER C.P.C. 412.3 EXCEPTION (2), (I) TOILET FACILITY, DESIGNED FOR USE BY ONE PERSON AT A TIME, SHALL BE PERMITTED FOR USE BY BOTH SEXES.
 - THE TOTAL NUMBER OF WATER CLOSETS FOR FEMALES SHALL BE EQUAL TO THE TOTAL NUMBER OF WATER CLOSETS AND URINALS REQUIRED FOR MALES.
 - NO FIXTURES REQUIRED AT PARKING LEVELS.

SYMBOLS



GENERAL NOTES

- SCOPE DOCUMENTS: THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE OVERALL CONCEPT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL, MECHANICAL, ELECTRICAL SYSTEMS, ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED. THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS AND SPECIFICATIONS.
- THE FOLLOWING NOTES AND TYPICAL DETAILS APPLY TO ALL DRAWINGS UNLESS OTHERWISE NOTED.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.
- DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION, WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN DETAILS OF CONSTRUCTION SHALL BE USED SUBJECT TO THE REVIEW AND APPROVAL OF THE ARCHITECT.
- CODE REQUIREMENTS: ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND AS REQUIRED BY THE APPLICABLE EDITION OF THE UNIFORM BUILDING CODE, LOCAL CODES AND JURISDICTIONAL AUTHORITIES AND AGENCIES.
- THE CONTRACTOR SHALL PERFORM IN A MANNER CONFORMING TO APPLICABLE REGULATION, AND REQUIREMENTS OF ALL GOVERNING AGENCIES AS WELL AS STANDARD INDUSTRY PRACTICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE.
- RESPONSIBILITY: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS, OR IN THE WORK DONE BY OTHERS FROM THE CONTRACT DOCUMENTS THAT AFFECT ANY WORK, NOTIFY THE ARCHITECT AND OWNER IN WRITING AT ONCE FOR INSTRUCTIONS TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AFFECTED WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE OWNER AND NO RESULTING COST TO THE OWNER. SHOULD A CONFLICT OCCUR IN OR BETWEEN THE DRAWINGS AND SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON THE CONTRACT DRAWINGS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIAL AND CONSTRUCTION METHODS INVOLVED UNLESS A WRITTEN DECISION FROM THE ARCHITECT / OWNER HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS OR UNLESS THE ORIGINAL BID IS APPROPRIATELY QUALIFIED.
- THE CONTRACTOR SHALL CONFINE HIS/HER OPERATIONS ON THE SITE TO AREAS PERMITTED BY THE OWNER. THE WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE LAWS, LOCAL ORDINANCES, PERMITS AND AND THE CONTRACT DOCUMENTS. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER, AND SHALL NOT BE UNNECESSARILY ENCLERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUBCONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS/HER WORK SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS/HER OPERATION.
- ALL MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNLESS FAILURE OF SIMILAR CHARACTER MAY BE CAUSE FOR REJECTION OF WORK.
- PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, H.V.A.C. EQUIPMENT AND ALL OTHER ITEMS DURING CONSTRUCTION.
- ALL MATERIALS SHALL BE HANDLED AND INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- STORAGE & DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GASES AND HAZARDOUS CHEMICALS SHALL COMPLY WITH THE UNIFORM FIRE CODE REGULATIONS.
- NO MATERIALS SHALL BE STORED ON PUBLIC PROPERTY UNLESS AN ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE PUBLIC WORK DEPARTMENT.
- THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HIS/HER WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATING, OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING, REPAIRS AND RE-INSTALLATIONS OF MATERIALS AND SURFACES, CUT OR DAMAGED IN EXECUTION OF WORK, SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL UPON COMPLETION MATCH SURROUNDING SIMILAR SURFACES.
- SHOP DRAWINGS: SHOP DRAWINGS ARE AN AID FOR FIELD PLACEMENT AND ARE SUPERSEDED BY THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE CERTAIN THAT ALL CONSTRUCTION IS IN FULL AGREEMENT WITH THE LATEST ARCHITECTURAL DRAWINGS. THE CONTRACTOR SHALL SUPPLY THE ARCHITECT/ENGINEER WITH A MINIMUM OF TWO COPIES OF CHECKED SHOP DRAWINGS BEARING THE CONTRACTOR'S STAMP OF APPROVAL AND SIGNATURE A MINIMUM OF THREE WEEKS PRIOR TO FABRICATION. THE REVIEW OF SHOP DRAWINGS AND SPECIFICATIONS BY THE ARCHITECT/ENGINEER IS ONLY FOR GENERAL COMPLIANCE WITH THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS AND SPECIFICATIONS. THIS REVIEW DOES NOT GUARANTEE IN ANY WAY THAT THE SHOP DRAWINGS ARE CORRECT, COMPLETE, NOR DOES IT IMPLY THAT THEY SUPERSEDE THE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS. NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL COMMENCE UNTIL THE SUBMISSION HAS BEEN REVIEWED BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH APPROVED SHOP DRAWINGS AND SAMPLES. THE ARCHITECT SHALL NOT PROCEED WITH THE REVIEW OF SHOP DRAWINGS FOR A SPECIFIC SECTION OF SPECIFICATIONS UNLESS THE SHOP DRAWINGS FOR THAT SECTION AND ALL RELATED AND CONTIGUOUS SECTIONS OF WORK ARE SUBMITTED IN THEIR ENTIRETY SIMULTANEOUSLY. THE REVIEW AND ACCEPTANCE OF A PART OF THE SHOP DRAWINGS SHALL NOT IMPLY THE ACCEPTANCE OF THE SHOP DRAWINGS IN WHOLE OR IN PART.
- EXIT SIGNS SHALL BE ILLUMINATED TO AN INTENSITY OF 5 FOOT CANDLES MINIMUM AT ALL TIMES (CBC 1003.2.8.4)
- PROVIDE STAIRWAY NUMBER SYSTEM FOR BUILDINGS TWO OR MORE STORIES PER FLOOR. THE LOCATION OF FIRE DEPARTMENT HOSE CONNECTIONS SHALL BE APPROVED BY THE FIRE DEPARTMENT, SECTION 904.
- EXIT DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING 50 OR MORE PERSONS AND IN ANY HAZARDOUS AREA OF GROUP H OCCUPANCY. SEE FIRE PROTECTION SYSTEM NOTES.
- EVERY EXIT DOOR SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A LATCH OR TOOL, OR SPECIAL KNOWLEDGE OR EFFORT. SPECIAL LOCKING DEVICES SHALL BE ONLY APPROVED TYPE.
- EXIT ILLUMINATION SHALL BE PROVIDED FROM AN EMERGENCY POWER SYSTEM.

DEFERRED PERMITS

- SEPARATE OR DEFERRED PERMIT WORK INCLUDES:
- EXTERIOR AND INTERIOR STAIR, HANDRAILS AND GUARDS, CONTRACTOR TO SUBMIT TO ARCHITECT FOR REVIEW AND THEN SUBMIT FULLY ENGINEERED PLANS PREPARED BY A LICENSED CALIFORNIA ENGINEER TO THE CITY OF SAN MATEO FOR PERMIT REVIEW AND APPROVAL.
 - NFPA 13 FIRE SPRINKLER, NFPA 14 STANDPIPE, NFPA 20 FIRE PUMP, NFPA 24 UNDERGROUND FIRE SERVICE, 4 NFPA 12 FIRE ALARM SYSTEM
 - CURTAINWALL AND METAL STUD FRAMING CONNECTIONS BACK TO STRUCTURE
 - BRB SEISMIC FRAMES
 - GLASS FIBER REINFORCED CONCRETE'S SUPPORT STRUCTURE
 - POST TENSION SYSTEMS
 - BUILDING EXTERIOR SIGNAGE
 - ROOF TOP DAVIT BASE SYSTEM FOR WINDOW WASHING
 - BASEMENT LEVEL EXTERIOR WALL SHORING SYSTEM
 - HVAC EQUIPMENT ANCHORAGE
 - TRANSFORMER SUPPORT
- DEFERRED SUBMITTAL NOTES:
- SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
 - PER CONDITIONS OF APPROVAL, SHORING REQUIRES A SEPARATE BUILDING PERMIT. REFER TO CONDITIONS OF APPROVAL ITEM #41 FOR MORE INFORMATION.

BID ALTERNATES

- PROVIDE ALTERNATE COST TO FINISH THE ELEVATOR LOBBY AND CORRIDOR AS SHOWN ON SHEET A2.4.1A-ALT AND A2.6.10-ALT. ALL ADDITIONAL COSTS ASSOCIATED WITH THIS ALTERNATE SHALL BE LISTED AS A SEPARATE COST IN THE BID AND SEPARATELY FROM THE BASE BID AMOUNT.

PARKING COUNT

WEST BLDG NET AREA & REG'D PARKING STALLS	
LEVEL L1 / P1	1510 SF 4.3
LEVEL L2	28,041 SF 78.8
LEVEL L3	28,231 SF 80.5
LEVEL L4	28,231 SF 80.5
TOTAL:	86,021 SF 245 REG'D

PROPOSED WEST BLDG PARKING		PROPOSED WEST BLDG BIKE PARKING	
LEVEL P1	STANDARD: 30	SHORT TERM: 0	
	CONTRACT: 26	LONG TERM: 20	
	ADA: 6	TOTAL: 20	
	ADA VAN: 1		
TOTAL:	63		
LEVEL P2	STANDARD: 45	SHORT TERM: 14	
	CONTRACT: 28	LONG TERM: 26	
	ADA: 0	TOTAL: 40	
	ADA VAN: 0		
TOTAL:	72		
LEVEL P3	STANDARD: 55		
	CONTRACT: 34		
	ADA: 0		
	ADA VAN: 0		
TOTAL:	89		
TOTAL STALLS:	225		

FIRE DEPT. NOTES

- FIRE SPRINKLER AND FIRE ALARM SUBMITTALS SHALL BE SUBMITTED THROUGH THE SAN MATEO BUILDING DEPARTMENT
- EVAUATION MAPS SHALL BE POSTED IN EACH ELEVATOR LOBBY AND AT EACH ENTRY TO EACH FLOOR OF EACH WING OF THE BUILDING.
- CURTAIN BOARDS (DRAFT STOPS) NOT REQUIRED AT LARGE OPENINGS.
 - PER NFPA 13, DRAFT STOPS REQUIRED WITH CLOSELY SPACED SPRINKLER PROTECTION AT LARGE OPENINGS WHEN SPRINKLERS ARE USED AS AN ALTERNATE TO ENCLOSURE OF VERTICAL OPENING.
 - PER CBC 1008.2, EXCEPTION 11, STAIRS ARE ALLOWED TO BE UNENCLOSED WHEN ONLY COMMUNICATING BETWEEN TWO LEVELS IN A BUILDING PROTECTED BY A FIRE SPRINKLER SYSTEM MEETING THE REQUIREMENTS OF NFPA 13.
 THEREFORE, CURTAIN BOARDS OR DRAFT STOPS NOT REQUIRED.
- EXIT SIGNS, EMERGENCY LIGHTING, FIRE EXTINGUISHERS, FIRE DEPT. LOCK BOX AND ADDRESS POSTING LOCATIONS TO BE FIELD VERIFIED BY FIRE INSPECTOR. EMERGENCY LIGHTING SHALL BE PROVIDED IN RESTROOMS AND STAIRWAYS, S.E.D. GENERAL CONTRACTOR TO PROVIDE EXTRA COPIES OF KEY CARDS IN FIRE DEPT. LOCK BOX.
- PARKING AREAS DESIGN DENSITY TO BE ORDINARY HAZARD II - (0.20 GPM / 1500 SF) 6T THROUGH 4TH FLOOR OFFICES TO BE ORDINARY HAZARD I - (0.15 GPM / 1500 SF). ALL NON-COMBUSTIBLE CONCEALED SPACES SHALL BE PROVIDED WITH SPRINKLER COVERAGE. ADDITIONAL STANDPIPE ASSEMBLIES SHALL BE LOCATED IN LANDSCAPE AREA AND CONSIST OF (2) 2-1/2" HOSE VALVES. FIRE DEPARTMENT HAS REQUESTED THAT THE ASSEMBLIES BE LOCATED SOMEWHAT IN VIEW FROM DOORWAYS ENTERING THE PODIUM LEVEL AT THE COURTYARD. MAXIMUM SPACING BETWEEN STANDPIPE ASSEMBLIES IS 26'-0" (130'-0" REACH).
- THE BUILDING SHALL BE EVALUATED FOR PUBLIC SAFETY RADIO OPERATIONS FUNCTIONALITY. IF THE EVALUATION SHOWS POOR RADIO USAGE, A PUBLIC SAFETY RADIO AMPLIFIER SYSTEM SHALL BE INSTALLED AS PART OF A DEFERRED SUBMITTAL.
- KNOX KEY SWITCHES SHALL BE INSTALLED FOR THE FOLLOWING ITEMS: MAIN ELECTRICAL DISCONNECT, FIRE PUMP DISCONNECT, EMERGENCY GENERATOR SHUT DOWN, VEHICLE ACCESS GATES, AND GARAGE EXHAUST FANS. COORDINATE LOCATION OF KNOX KEY SWITCHES WITH THE FIRE DEPARTMENT.

PROJECT TEAM

OWNER	ARCHITECT	LEED
HINES 101 CALIFORNIA ST, SUITE 1000 SAN FRANCISCO, CA 94111 TEL: 650.614.6245	FORM 4 ARCHITECTURE 126 POST STREET, 3RD FLOOR SAN FRANCISCO, CA 94109 TEL: 415.775.8140 FAX: 415.775.8152	BVM ENGINEERING INC. 834 INMAN VILLAGE PKWY NE STE. 230 ATLANTA, GA 30307 TEL: 404.835.0960
LANDSCAPE	CIVIL	SECURITY
STUDIO FIVE DESIGN, INC. 64 OLIVE AVE. SAN ANSELMO, CA 94460 TEL: 415.524.8511	KIER 4 BRIGHT 3390 SCOTT BLVD, BLDG 22 SANTA CLARA, CA 95054 TEL: 415.315.3068	HMA CONSULTING 5111 RICHMOND AVE, SUITE 640 HOUSTON, TX 77056 TEL: 832.242.1600
STRUCTURAL	PLUMBING	GRAPHICS
MAGNUSSEN KLEINENCK ASSOCIATES 1501 FIFTH AVE, SUITE 3200 SEATTLE, WA TEL: 206.242.1200	M-E ENGINEERS, INC. 10055 WEST 43RD AVE WHEAT RIDGE, CO 80033 TEL: 303.421.6655	SQUARE PEG DESIGN 8621 TELEGRAPH AVE OAKLAND, CA 94612 TEL: 510.596.8810
ELECTRICAL	MECHANICAL	
M-E ENGINEERS, INC. 10055 WEST 43RD AVE WHEAT RIDGE, CO 80033 TEL: 303.421.6655	M-E ENGINEERS, INC. 10055 WEST 43RD AVE WHEAT RIDGE, CO 80033 TEL: 303.421.6655	

PROJECT DATA

PROJECT ADDRESS: 400 CONCAR DR
SAN MATEO, CA

LEGAL JURISDICTION: CITY OF SAN MATEO

SCOPE OF WORK: CONSTRUCTION OF NEW SHELL AND CORE OFFICE BUILDING INCLUDING (3) LEVELS OF PARKING, FINISHED LOBBY, AND (3) LEVELS OF SHELL OFFICE SPACE WITH FINISHED CORE ELEMENTS - RESTROOMS, ELEVATOR, STAIRS, AND UTILITY SPACES.

CONSTRUCTION TYPE: TYPE I-A - GARAGE AND PODIUM TYPE III-B - OFFICE LEVELS

NUMBER OF STORIES: 6 STORIES
(2) GARAGE BELOW GRADE
(1) GARAGE / OFFICE AT GRADE
(3) OFFICE ABOVE GRADE

BUILDING OCCUPANCY: 'S-2' GARAGE LEVEL 2 & 3
'S-2' & 'B' GARAGE LEVEL 1 / OFFICE LEVEL 1
'B' LEVEL 2, 3 & 4

AUTOMATIC FIRE SPRINKLER SYSTEM: (N) FULLY SPRINKLERED AND MONITORED, COMPLIANT WITH NFPA 13

GROSS BUILDING AREA:

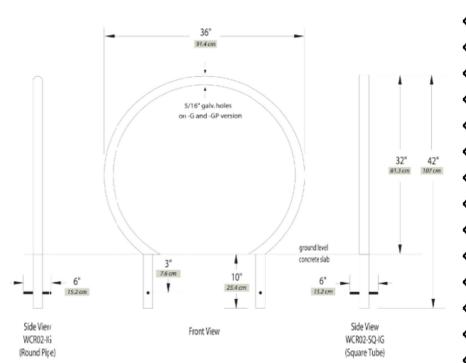
	WEST BLDG
LEVEL P3	33,231
LEVEL P2	33,240
LEVEL L1 / P1	34,248
LEVEL L2	30,433
LEVEL L3	30,433
LEVEL L4	30,433
ROOF BOILER RM 1872 (NOT OCCUPIED)	
TOTAL:	193,946 S.F.

BUILDING CODES: 2010 CALIFORNIA BUILDING CODE, TITLE 24 PARTS 1 AND 2
2010 CALIFORNIA ELECTRICAL CODE, TITLE 24 PART 3
2010 CALIFORNIA MECHANICAL CODE, TITLE 24 PART 4
2010 CALIFORNIA PLUMBING CODE, TITLE 24 PART 5
2010 CALIFORNIA FIRE CODE, TITLE 24 PART 6
2010 CALIFORNIA FIRE CODE, TITLE 24 PART 7
2010 CALIFORNIA EXISTING BUILDING CODE, TITLE 24 PART 10
2008 CALIFORNIA GREEN BUILDING STANDARDS CODE, TITLE 24 PART 11
2010 CALIFORNIA REFERENCE STANDARDS CODE, TITLE 24 PART 12

ELEVATOR CONSTRUCTION REQUIREMENTS, TITLE 8
CITY OF SAN MATEO AMENDMENTS TO THE STATE CODES
CITY OF SAN MATEO MUNICIPAL CODE
NFPA 13 FIRE SPRINKLER, NFPA 14 STANDPIPE, NFPA 20 FIRE PUMP, NFPA 24 UNDERGROUND FIRE SERVICE, 4 NFPA 12 FIRE ALARM SYSTEM

ABBREVIATIONS

#	AND	HORIZ.	HORIZONTAL
AT	AT	HR	HEIGHT
CL	CENTERLINE	LD.	INSIDE DIAMETER
FO	FOUND OR NUMBER	INSUL.	INSULATION
EX	EXISTING	INT.	INTERIOR
ACQ.	ACQUISITION	JAN.	JANITOR
ADJ.	ADJUSTABLE	JOINT	JOINT
A.F.F.	ABOVE FINISH FLOOR	KEIT	KITCHEN
AGGR.	AGGREGATE	LAB.	LABORATORY
ALUM.	ALUMINUM	LAM.	LAMINATE
APPROX.	APPROXIMATE	LAV.	LAVATORY
ARCH.	ARCHITECTURAL	LKR.	LOCKER
ASB.	ASBESTOS	LT.	LIGHT
ASPL.	ASPHALT	LT.	MAXIMUM
BRD.	BOARD	M.D.	MEDIUM DENSITY FIBERBOARD
BTM.	BOTTOM	MCH.	MECHANICAL
BLDG.	BUILDING	MBR.	MEN'S
BLK.	BLOCK	MTL.	METAL
BLK.	BLOCKING	MAN.	MANUFACTURER
BM.	BEAM	MNL.	MANHOLE
B.O.	BOTTOM OF	MNL.	MINIMUM
BTM.	BOTTOM	MRR.	MIRROR
BS.	BASIN	MSS.	MISCELLANEOUS
C.B.	CATCH BASIN	M.S.O.	MASONRY OPENING
CB.	CERAMIC	MLD.	MONUMENT
CBM.	CERAMIC TILE	MILLION	MILLION
CER.	CERAMIC	N.	NORTH
C.I.	CAST IRON	N.L.C.	NOT IN CONTRACT
C.C.	CORNER GUARD	N.L.C.	NUMBER
CLG.	CAULKING	NOM.	NOMINAL
CLD.	CLEST	N.T.S.	NOT TO SCALE
CLF.	CLEAR	OV.	OVERALL
C.O.	CASED OPENING	O.C.	ON CENTER
COL.	COLUMN	OD.	OUTSIDE DIAMETER
CONC.	CONCRETE	OPF.	OPPOSITE HAND
CONN.	CONNECTION	OPNG.	OPENING
CONSTR.	CONSTRUCTION	OPNG.	OPENING
CONT.	CONTIGUOUS	PRECAST	PRECAST
CORR.	CORRIDOR	PLAST.	PLASTIC
CS	ROOF BOILER RM 1872 (NOT OCCUPIED)	PLAS.	PLASTER
CNTD.	CENTER	PLAS.	PLASTER
CTR.	CENTER	PLTHD.	PLTWOOD
DBL.	DOUBLE	PLT.	PLASTER
DEPT.	DEPARTMENT	P.T.D.	PAPER TOWEL DISPENSER
DF.	DRINKING FOUNTAIN	P.T.D.R.	P.T.D. & RECEPTACLE
DE.	DIAMETER	P.TN.	PARTITION
DIA.	DIAMETER	P.T.R.	PARTITION
DIM.	DIMENSION	Q.T.R.	QUARTER RECEPTACLE
D.O.	DOWN	R.	RISER
DN.	DOWN	RAD.	RADIANT
D.O.	DOWN OPENING	R.D.	ROOF DRAIN
DR.	DRAWER	R.D.	REFERENCE
DNR.	DRAWER	R.D.	REFERENCE
DS.	DROPSHOT	R.G.	REGISTER
D.S.	DRY STANDPIPE	RGR.	REGISTER
DNS.	DRAWING	REINFR.	REINFORCED
E.	EAST	RESIL.	RESILIENT
E.	ELEVATION	RM.	ROOM
ELEC.	ELECTRICAL	R.O.	ROOF OPENING
ELEV.	ELEVATOR	RWD.	REDWOOD
EMER.	EMERGENCY	R.W.L.	RAIN WATER LEADER
EMR.	ELEVATOR MACHINE ROOM	S.	SOUTH
ENCL.	ENCLOSURE	S.C.D.	SOLID CORE
EQ.	ELECTRICAL PANEL	S.C.D.	SEAT COVER DISPENSER
EQ.	EQUAL	SCHED.	SCHEDULE
EQUIP.	EQUIPMENT	S.E.D.	SOAP DISPENSER
SCHEDULE	ELECTRICAL WATER COOLER	SECT.	SECTION
EXST.	EXISTING	SH.	SHEET
EXPO.	EXPOSED	SHR.	SHOWER
EXP.	EXPANSION	SHT.	SHEET
EXT.	EXTERIOR	SHR.	SHOWER
F.A.	FIRE ALARM	SHT.	SHEET
F.B.	FLAT BAR	SHR.	SHOWER
F.D.	FLOOR DRAIN S.P.D.	S.M.	SANITARY NAPKIN DISPENSER
F.D.C.	FIRE DEPT. CONNECTION	S.M.R.	SANITARY NAPKIN RECEPTACLE
FEN.	FENESTRATION	SPEC.	SPECIFICATION
F.E.C			



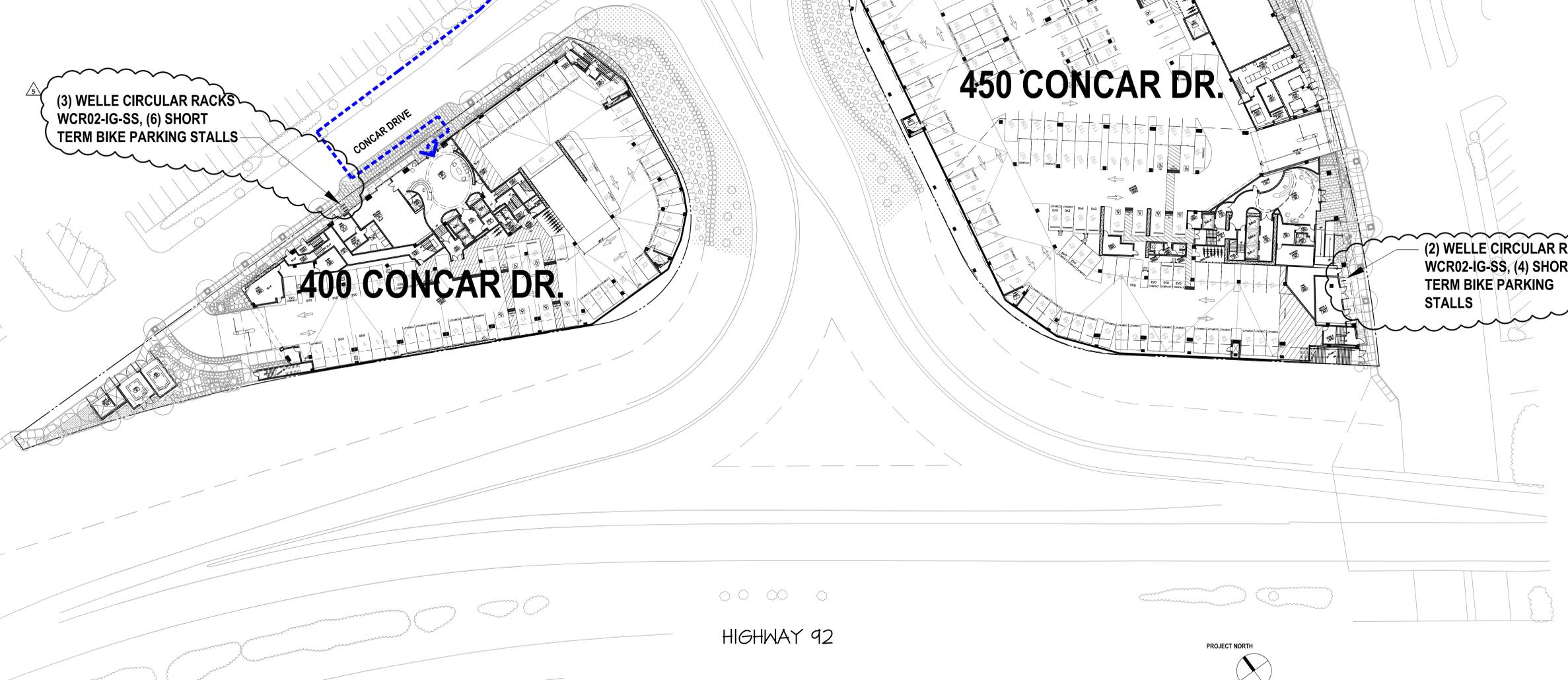
Welle® Circular Rack, Inground						
Table	Model	Weight	Finish Options	Height	Legs	Cross Member
Round Pipe	WCR02-IG	22 lbs	4 Hot Dip Galvanized 5 Powder Coated (color)	4, 4, 4P 23 1/2" O.D. x 1 1/4" Wall 23 1/2" O.D. x 1 1/4" Wall 23 1/2" O.D. x 1 1/4" Wall	Schedule 40 Pipe Schedule 40 Pipe Schedule 40 Pipe	2 1/2" x 2 1/2" x 1/4" Flat Bar 2 1/2" x 2 1/2" x 1/4" Flat Bar 2 1/2" x 2 1/2" x 1/4" Flat Bar
Square Tube	WCR02-IG	30 lbs	4 Hot Dip Galvanized 5 Powder Coated (color)	4, 4, 4P 23 1/2" O.D. x 1 1/4" Wall 23 1/2" O.D. x 1 1/4" Wall 23 1/2" O.D. x 1 1/4" Wall	Schedule 40 Pipe Schedule 40 Pipe Schedule 40 Pipe	2 1/2" x 2 1/2" x 1/4" Flat Bar 2 1/2" x 2 1/2" x 1/4" Flat Bar 2 1/2" x 2 1/2" x 1/4" Flat Bar

WALKING PATH BETWEEN EAST AND WEST BUILDING

(3) WELLE CIRCULAR RACKS WCR02-IG-SS, (6) SHORT TERM BIKE PARKING STALLS

(4) WELLE CIRCULAR RACKS WCR02-IG-SS, (8) SHORT TERM BIKE PARKING STALLS

(2) WELLE CIRCULAR RACKS WCR02-IG-SS, (4) SHORT TERM BIKE PARKING STALLS



SITE PLAN
SCALE: 1"=30'

HIGHWAY 92

HINES - WEST BUILDING 1
400 CONCAR DRIVE, SAN MATEO CA

FORM4 ARCHITECTURE, INC.
126 POST STREET, 3RD FLOOR
SAN FRANCISCO, CA 94108
415.775.8748

PROJECT # 2447.01



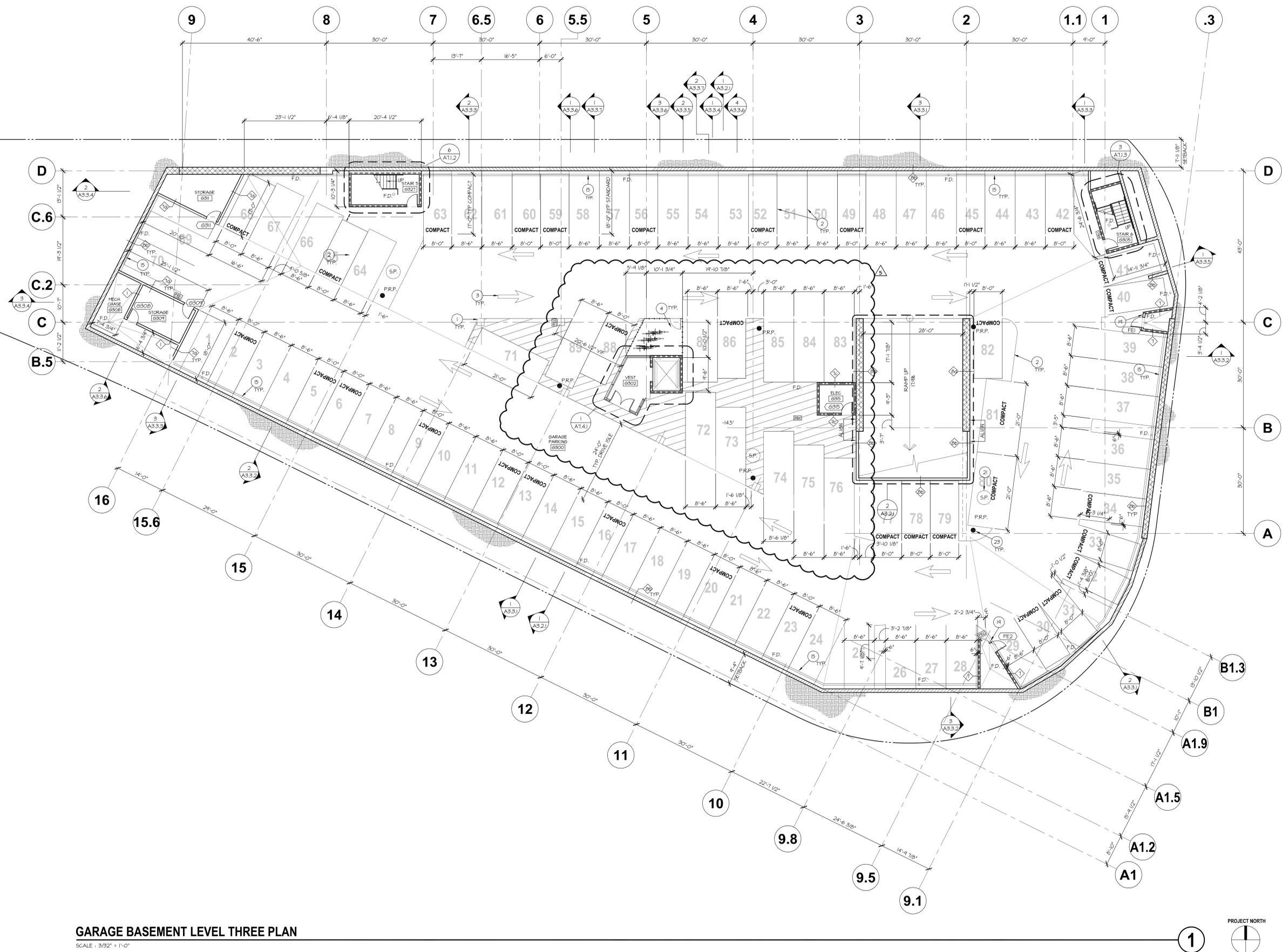
Stamp:



#	Date	Issue

#	Date	Issue
11.19.13	ISSUED FOR PERMIT	
09.22.14	ISSUE FOR BID	
09.29.14	PARKING REVISIONS	

HINES
 Sheet Title: **SITE PLAN**
 Sheet No: **W A1.1**



PLAN GENERAL NOTES:

- A. CONTRACTOR TO COORDINATE ALL FLOOR DRAINS WITH FOOTINGS AND BEAMS.
- B. FEATHER CONC. AROUND ENTRANCE TO ELEVATOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM ELEVATOR ENTRANCE DOOR.
- C. EXPOSED CONCRETE, FIRST & SECOND AND THIRD FLOOR CEILING, THIRD FLOOR CEILING ALSO RECEIVES SPRAY ON INSULATION, SEE SPECIFICATION FOR MORE INFO.
- D. SEALED CONCRETE TYP. AT ALL FLOORS. SEE SPECIFICATION FOR MORE INFO. PROVIDE SWIRLED FINISH.
- E. REFER TO A1.1 FOR SITE PLAN INFO.
- F. REFER TO A1.1.1 THRU A1.1.7 FOR EGRESS PLANS.
- G. REFER TO A4.0 ACCESSIBILITY DETAILS.
- H. REFER TO A8.4 FOR TYPICAL CEILING DETAILS.
- J. REFER TO A SEPARATE "SIGNING AND GRAPHICS DOCUMENTATION" FOR MORE INFO.

PLAN LEGEND

SYMBOL	DESCRIPTION
	PROPERTY LINE
	CONC. SHEAR WALL, S.S.D.
	COLUMN, S.S.D.
	CONCRETE RETAINING WALL, S.S.D. (CMU AS OCCURS)
	6" CONC. CURB / CONC. ISLAND, W. #4 REBAR 16" O.C. BOTH WAYS.
	DETECTABLE WARNING / SAFETY SURFACING, SEE 2.3/A8.8.2
	UNOCCUPIED AREA / INACCESSIBLE VOID SPACE
	INDICATES ELEVATION
	INDICATES FLOOR SLOPE VALLEY
	INDICATES FLOOR DRAIN, S.P.D.
	INDICATES DOOR LOCATION
	INDICATES PARTITION TYPE - SEE A9.1 AND ALSO ENLARGED PLANS FOR MORE PARTITION TYPES
	INDICATES WINDOW TAG, WINDOW SCHEDULE SEE A8.2.1
	INDICATES KEYNOTE
	INDICATES LOUVER, SEE A8.7.0
	D.F. DRINKING FOUNTAIN
	F.E.C. INDICATES FIRE EXTINGUISHER CABINET
	DIRECTION OF SLOPE SLOPE X' : 1'-0" U.O.N. BOLLARD.
	SURFACE MOUNTED FIRE EXTINGUISHER CABINET
	SLAB EDGE FOR THE RAMP
	CONC. WHEEL STOP
	ELECTRIC CHARGING STATIONS, S.E.D.
	P.R.P. PRESSURE RELIEF PIPE - DESIGN PER CLIENT'S SEPARATE CONSULTANT REPORT
	S.P. SUMP PIT - SLAB FLOOR DRAIN PLUMBING SUMP LOCATION, S.P.D.
	1 HOUR WALL CONSTRUCTION
	2 HOUR WALL CONSTRUCTION

KEYNOTES

- 1 PAINT ACCENT STRIPE AT EACH COLUMN WITH LEVEL ID, TYP. SEE 2/A8.8.1
- 2 4" THERMOPLASTIC PAINTED STRIPE, FEDERAL COLOR 37875 (WHITE), 2 COATS
- 3 4" THERMOPLASTIC PAINTED TRAFFIC MARKING (WHITE), 2 COATS
- 4 4" THERMOPLASTIC PAINTED STRIPE DENOTING LOADING/ UNLOADING ACCESS AISLE, SLANTED STRIPES @ 36" O.C. MAX., FEDERAL COLOR 15187 (BLUE)
- 5 OUTSIDE FACE OF CORE WALLS TO BE TAPED SHEETROCK. FINISH OF THE SHEETROCK IS TO BE U.S.F.T.P.
- 6 JANITOR CLOSET TO RECEIVE FLOORING, FRP WALL PANELING SEE FINISH SCHEDULE TYP.
- 7 LOCATION OF SPRINKLER FLOOR CONTROL ASSEMBLY
- 8 BOLLARD, SEE #8/A8.1.3
- 9 GALV. AND PTD. METAL GUARDRAIL
- 10 BICYCLE PARKING RACKS, PROVIDE DERO HOOP RACK HEAVY DUTY, TYP.
- 11 EVO CAR CHARGING STATION, S.E.D.
- 12 GARAGE ENTRY SECURITY - LIFT GATE & CARD READER
- 13 HATCH INDICATES VOID AREA (NON-OCCUPABLE FLOOR AREA)
- 14 EXPOSED STEEL COLUMN (SEE STRUCTURAL DWGS)
- 15 COLLECTOR SLOT FOR WEEPAGE, SEE 1/A8.5.5
- 16 PROVIDE METAL GRATE AT MECHANICAL CHASE FLOOR OPENING, SEE 6/A8.8.2 TYP.
- 17 SECURITY MESH (SEE ELEVATIONS FOR QUANTITIES). SEE 1/A8.4.2 AND PARTITION 9 AS OCCURS
- 18 CRASH CABLE (SEE 1/A8.8.2), WITH INTERMEDIATE METAL VERTICAL SUPPORT POSTS
- 19 ALIGN WALL WITH COLUMN
- 20 DROPPED SLAB @ ELEVATOR PITS
- 21 SLAB DRAIN SUMP PUMP, S.P.D. & S.S.D. REFER TO DETAIL 1/A8.5.6 FOR WATERPROOFING REQUIREMENTS
- 22 KNOX KEY BOX LOCATION, VERIFY LOCATION WITH FIRE DEPARTMENT
- 23 PRESSURE RELIEF PIPE - CONTINUOUS TO GARAGE LEVEL P2 - TOP ELEVATION PER SEPARATE CONSULTANT'S REPORT. PROVIDE HORIZONTAL PIPE WITH FILTER AT TOP OF VERTICAL PIPE - S.P.D. - LOCATION OF ALL P.R.P. SHALL BE VERIFIED IN FIELD TO AVOID VEHICULAR TRAFFIC AND BOLLARDS OR PROTECTION SCREEN SHALL BE PROVIDED AT EACH PIPE TO PROTECT FROM VEHICLE COLLISIONS, TYP. ALL PIPE LOCATIONS
- 24 PROVIDE RATED TUNNEL CONSTRUCTION AT SHADDED PORTION OF EXIT PASSAGE WAY, SEE DET. 11/A9.3

GARAGE BASEMENT LEVEL THREE PLAN
SCALE: 3/32" = 1'-0"

HINES - WEST BUILDING 1
400 CONCAR DRIVE, SAN MATEO CA

FORM4 ARCHITECTURE, INC.
126 POST STREET, 3RD FLOOR
SAN FRANCISCO, CA 94108
415.775.8748

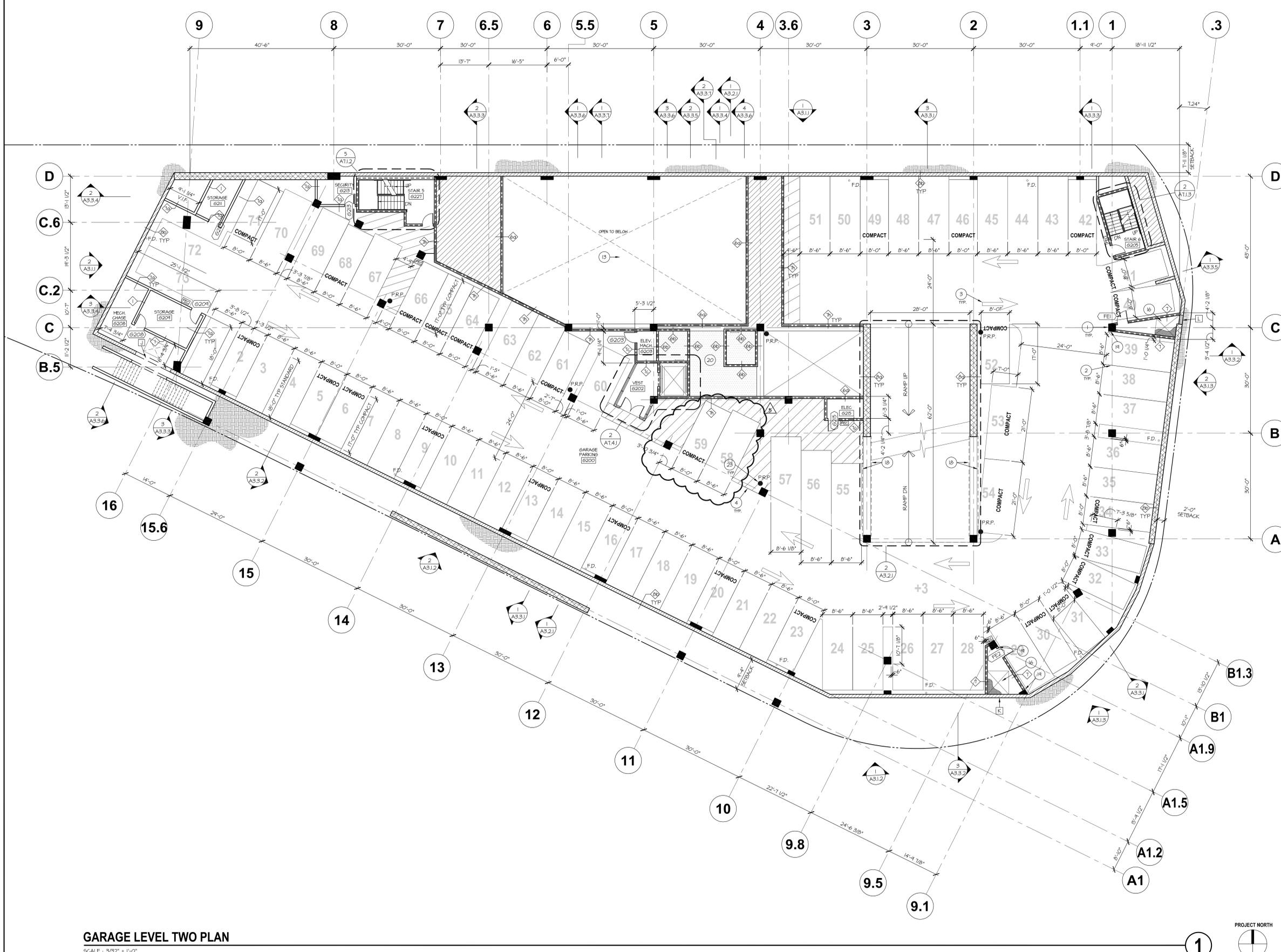
PROJECT # 2447.01



#	Date	Issue
11.19.13	ISSUED FOR PERMIT	
03.24.14	P.C. RESUBMITTAL #1	
09.22.14	ISSUE FOR BID	
09.29.14	PARKING REVISIONS	

#	Date	Issue

HINES
Sheet Title:
GARAGE LEVEL THREE PLAN
Sheet No: **W A2.1.1a**



PLAN GENERAL NOTES:

- A. CONTRACTOR TO COORDINATE ALL FLOOR DRAINS WITH FOOTINGS AND BEAMS.
- B. FEATHER CONC. AROUND ENTRANCE TO ELEVATOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM ELEVATOR ENTRANCE DOOR.
- C. EXPOSED CONCRETE, FIRST & SECOND AND THIRD FLOOR CEILING, THIRD FLOOR CEILING ALSO RECEIVES SPRAY ON INSULATION, SEE SPECIFICATION FOR MORE INFO.
- D. SEALED CONCRETE TYP. AT ALL FLOORS, SEE SPECIFICATION FOR MORE INFO. PROVIDE SWIRLED FINISH.
- E. REFER TO A1.1 FOR SITE PLAN INFO
- F. REFER TO A1.1.1 THRU A1.1.7 FOR EGRESS PLANS
- G. REFER TO A4.0 ACCESSIBILITY DETAILS
- H. REFER TO A9.4 FOR TYPICAL CEILING DETAILS
- J. REFER TO A SEPARATE "SIGNING AND GRAPHICS DOCUMENTATION" FOR MORE INFO.

PLAN LEGEND

SYMBOL	DESCRIPTION
---	PROPERTY LINE
▨	CONC. SHEAR WALL, S.S.D.
▩	COLUMN, S.S.D.
▧	CONCRETE RETAINING WALL, S.S.D. (CMU AS OCCURS)
▨	6" CONC. CURB / CONC. ISLAND, W. #4 REBAR 16" O.C. BOTH WAYS.
▨	DETECTABLE WARNING / SAFETY SURFACING. SEE 2.3/AB.8.2
▨	UNOCCUPIED AREA / INACCESSIBLE VOID SPACE
▲	INDICATES ELEVATION
▽	INDICATES FLOOR SLOPE VALLEY
—○—	INDICATES FLOOR DRAIN, S.P.D.
101	INDICATES LOUVER LOCATION
▨	INDICATES PARTITION TYPE - SEE A9.1 AND ALSO ENLARGED PLANS FOR MORE PARTITION TYPES
△	INDICATES WINDOW TAG, WINDOW SCHEDULE SEE AB.2.1
⊙	INDICATES KEYNOTE
⊠	INDICATES LOUVER, SEE AB.7.0
D.F.	DRINKING FOUNTAIN
F.E.C.	INDICATES FIRE EXTINGUISHER CABINET
←	DIRECTION OF SLOPE SLOPE X' 1'-0" U.O.N. BOLLARD.
F.E.C.	SURFACE MOUNTED FIRE EXTINGUISHER CABINET
▬	SLAB EDGE FOR THE RAMP
▬	CONC. WHEEL STOP
EC	ELECTRIC CHARGING STATIONS, S.E.D.
PR.P.	PRESSURE RELIEF PIPE - DESIGN PER CLIENT'S SEPARATE CONSULTANT REPORT
S.P.	SUMP PIT - SLAB FLOOR DRAIN PLUMBING SUMP LOCATION, S.P.D.
▬	1 HOUR WALL CONSTRUCTION
▬	2 HOUR WALL CONSTRUCTION

KEYNOTES

- 1 PAINT ACCENT STRIPE AT EACH COLUMN WITH LEVEL ID, TYP. SEE 2/AB.8.1
- 2 4" THERMOPLASTIC PAINTED STRIPE, FEDERAL COLOR 37875 (WHITE), 2 COATS
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- 4 4" THERMOPLASTIC PAINTED STRIPE DENOTING LOADING/ UNLOADING ACCESS AISLE, SLANTED STRIPES @ 36" O.C. MAX., FEDERAL COLOR 15187 (BLUE)
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- 6 JANITOR CLOSET TO RECEIVE FLOORING, FRP WALL PANELING SEE FINISH SCHEDULE TYP.
- 7 LOCATION OF SPRINKLER FLOOR CONTROL ASSEMBLY
- 8 BOLLARD, SEE #8/AB.1.3
- 9 GALV. AND PTD. METAL GUARDRAIL.
- 10 BICYCLE PARKING RACKS. PROVIDE DERO HOOP RACK HEAVY DUTY, TYP.
- 11 EVO CAR CHARGING STATION, S.E.D.
- 12 GARAGE ENTRY SECURITY - LIFT GATE & CARD READER
- 13 HATCH INDICATES VOID AREA (NON-OCCUPABLE FLOOR AREA)
- 14 EXPOSED STEEL COLUMN (SEE STRUCTURAL DWGS)
- 15 COLLECTOR SLOT FOR WEEPAGE, SEE 1/AB.5.5
- 16 PROVIDE METAL GRATE AT MECHANICAL CHASE FLOOR OPENING, SEE 6/AB.8.2 TYP.
- 17 SECURITY MESH (SEE ELEVATIONS FOR QUANTITIES). SEE 1/AB.4.2 AND PARTITION 9 AS OCCURS
- 18 CRASH CABLE (SEE 1/AB.8.2), WITH INTERMEDIATE METAL VERTICAL SUPPORT POSTS
- 19 ALIGN WALL WITH COLUMN
- 20 DROPPED SLAB @ ELEVATOR PITS
- 21 SLAB DRAIN SUMP PUMP, S.P.D. & S.S.D. REFER TO DETAIL 1/AB.5.6 FOR WATERPROOFING REQUIREMENTS
- 22 KNOX KEY BOX LOCATION, VERIFY LOCATION WITH FIRE DEPARTMENT
- 23 PRESSURE RELIEF PIPE - CONTINUOUS TO GARAGE LEVEL P2 - TOP ELEVATION PER SEPARATE CONSULTANT'S REPORT. PROVIDE HORIZONTAL PIPE WITH FILTER AT TOP OF VERTICAL PIPE - S.P.D. LOCATION OF ALL P.R.P. SHALL BE VERIFIED IN FIELD TO AVOID VEHICULAR TRAFFIC AND BOLLARDS OR PROTECTION SCREEN SHALL BE PROVIDED AT EACH PIPE TO PROTECT FROM VEHICLE COLLISIONS, TYP. ALL PIPE LOCATIONS
- 24 PROVIDE RATED TUNNEL CONSTRUCTION AT SHADED PORTION OF EXIT PASSAGE WAY, SEE DET. 11/AB.3

GARAGE LEVEL TWO PLAN
SCALE: 3/32" = 1'-0"

HINES - WEST BUILDING 1
400 CONCAR DRIVE, SAN MATEO CA

FORM4 ARCHITECTURE, INC.
126 POST STREET, 3RD FLOOR
SAN FRANCISCO, CA 94108
415.775.8748

PROJECT # 2447.01

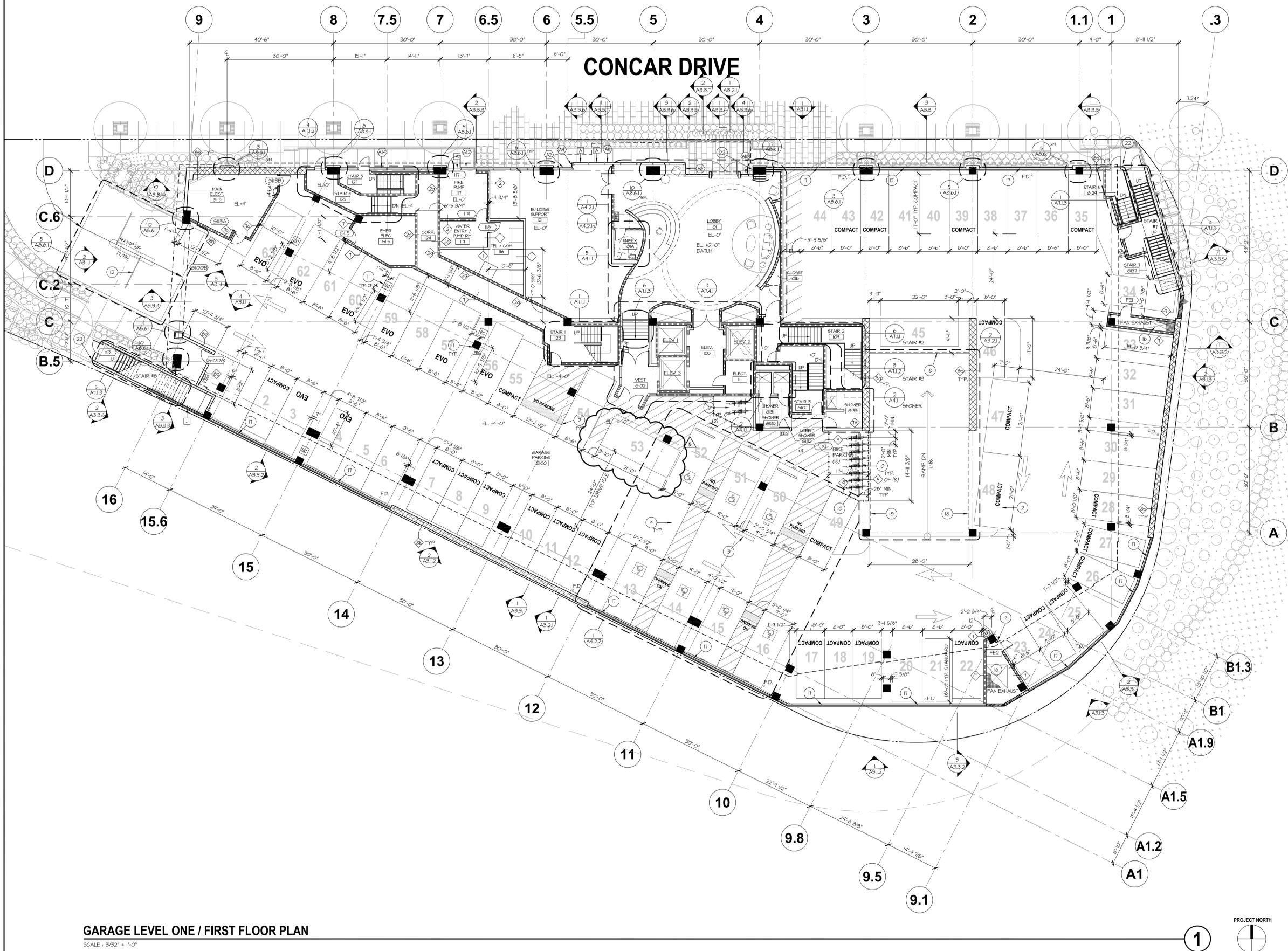


#	Date	Issue
11.19.13	ISSUED FOR PERMIT	
03.24.14	P.C. RESUBMITTAL #1	
07.02.14	P.C. RESUBMITTAL #2	
09.22.14	ISSUE FOR BID	
09.29.14	PARKING REVISIONS	

#	Date	Issue

HINES
Sheet Title:
GARAGE LEVEL TWO PLAN
Sheet No:
W A2.2.1a

CONCAR DRIVE



- PLAN GENERAL NOTES:**
- CONTRACTOR TO COORDINATE ALL FLOOR DRAINS WITH FOOTINGS AND BEAMS.
 - FEATHER CONC. AROUND ENTRANCE TO ELEVATOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM ELEVATOR ENTRANCE DOOR.
 - EXPOSED CONCRETE, FIRST & SECOND AND THIRD FLOOR CEILING, THIRD FLOOR CEILING ALSO RECEIVES SPRAY ON INSULATION, SEE SPECIFICATION FOR MORE INFO.
 - SEALED CONCRETE TYP. AT ALL FLOORS. PROVIDE SWIRLED FINISH. SEE SPECIFICATION FOR MORE INFO.
 - REFER TO A1.1 FOR SITE PLAN INFO.
 - REFER TO A1.1.1 THRU A1.1.7 FOR EGRESS PLANS.
 - REFER TO A4.0 ACCESSIBILITY DETAILS.
 - REFER TO A9.4 FOR TYPICAL CEILING DETAILS.
 - REFER TO A SEPARATE "SIGNING AND GRAPHICS DOCUMENTATION" FOR MORE INFO.
- PLAN LEGEND**
- | SYMBOL | DESCRIPTION |
|----------|--|
| [Symbol] | PROPERTY LINE |
| [Symbol] | CONC. SHEAR WALL, S.S.D. |
| [Symbol] | COLUMN, S.S.D. |
| [Symbol] | CONCRETE RETAINING WALL, S.S.D. (CMU AS OCCURS) |
| [Symbol] | 6" CONC. CURB / CONC. ISLAND, W. #4 REBAR 16" O.C. BOTH WAYS. |
| [Symbol] | DETECTABLE WARNING / SAFETY SURFACING, SEE 2.3/AB.8.2 |
| [Symbol] | UNOCCUPIED AREA / INACCESSIBLE VOID SPACE |
| [Symbol] | INDICATES ELEVATION |
| [Symbol] | INDICATES FLOOR SLOPE VALLEY |
| [Symbol] | INDICATES FLOOR DRAIN, S.P.D. |
| [Symbol] | INDICATES DOOR LOCATION |
| [Symbol] | INDICATES PARTITION TYPE - SEE A9.1 AND ALSO ENLARGED PLANS FOR MORE PARTITION TYPES |
| [Symbol] | INDICATES WINDOW TAG, WINDOW SCHEDULE SEE AB.2.1 |
| [Symbol] | INDICATES KEYNOTE |
| [Symbol] | INDICATES LOUNGER, SEE AB.7.0 |
| [Symbol] | D.F. DRINKING FOUNTAIN |
| [Symbol] | F.E.C. INDICATES FIRE EXTINGUISHER CABINET |
| [Symbol] | DIRECTION OF SLOPE SLOPE X: 1'-0" U.O.N. BOLLARD. |
| [Symbol] | SURFACE MOUNTED FIRE EXTINGUISHER CABINET |
| [Symbol] | SLAB EDGE FOR THE RAMP |
| [Symbol] | CONC. WHEEL STOP |
| [Symbol] | ELECTRIC CHARGING STATIONS, S.E.D. |
| [Symbol] | P.R.P. PRESSURE RELIEF PIPE - DESIGN PER CLIENT'S SEPARATE CONSULTANT REPORT |
| [Symbol] | S.P. SUMP PIT - SLAB FLOOR DRAIN PLUMBING SUMP LOCATION, S.P.D. |
| [Symbol] | 1 HOUR WALL CONSTRUCTION |
| [Symbol] | 2 HOUR WALL CONSTRUCTION |

- KEYNOTES**
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 - EXPOSED STEEL COLUMN (SEE STRUCTURAL DWGS)
 - COLLECTOR SLOT FOR WEAPAGE, SEE 1/AB.5.5
 - PROVIDE METAL GRATE AT MECHANICAL CHASE FLOOR OPENING, SEE 6/AB.8.2 TYP.
 - SECURITY MESH (SEE ELEVATIONS FOR QUANTITIES). SEE 1/AB.4.2 AND PARTITION 9 AS OCCURS
 - CRASH CABLE (SEE 1/AB.8.2), WITH INTERMEDIATE METAL VERTICAL SUPPORT POSTS
 - ALIGN WALL WITH COLUMN
 - DROPPED SLAB @ ELEVATOR PITS
 - SLAB DRAIN SUMP PUMP, S.F.B. & S.S.D. REFER TO DETAIL 1/AB.5.6 FOR WATERPROOFING REQUIREMENTS
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 - PROVIDE RATED TUNNEL CONSTRUCTION AT SHADDED PORTION OF EXIT PASSAGE WAY, SEE DET. 11/AB.3

GARAGE LEVEL ONE / FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"

HINES - WEST BUILDING 1
400 CONCAR DRIVE, SAN MATEO CA

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#	Date	Issue

HINES
Sheet Title:
GARAGE LEVEL ONE / FIRST FLOOR PLAN
Sheet No: **W A2.3.1a**