

# ST. MATTHEW'S EPISCOPAL CHURCH & DAY SCHOOL MASTER PLAN

## PROJECT A: THE CHARLES HOUSE SITE PHASE I

### PROJECT DATA:

ADDRESS:  
15 Second Avenue  
APN: 034-141-020-7  
SITE AREA:  
18,568 SF (+/- 0.42821 acres)  
MILLS CORNER SITE APN:  
032-313-070  
SITE AREA:  
15,961 SF (+/- 0.36641 acres)  
EXISTING  
BUILDING FOOT PRINT:  
2,897 SF  
LOT COVERAGE:  
2,897 / 34,257 (18,568+15,691) = 8%  
GROSS FLOOR AREA:  
7,357 SF  
PROPOSED  
BUILDING FOOT PRINT:  
5,551 SF  
LOT COVERAGE:  
5,551 / 34,257 (18,568+15,691) = 16%  
GROSS FLOOR AREA:  
10,251 SF  
FAR:  
3:1 (+/-55,698 SF limit)

### PARKING DATA:

PROVIDED PARKING	STANDARD SPACES	ACCESSIBLE SPACES	TOTAL
SITE	10	1	11

**BICYCLE PARKING**  
0.05 per Residential unit short term and 1 per Residential unit long term  
1 per 20,000 of short term, 1 per 10,000 of long term for offices in downtown  
4 bicycle spaces to be provided

**REQUIRED PARKING**  
1 space per residential unit (2)  
1 space per employee (7)  
1 space per 6 persons licensed at facility for loading/unloading of children with a maximum of 3 spaces for up to 30 licensed persons, and thereafter a ratio of 1 space per ten licensed persons. The spaces can be located on street frontages with permits for loading zones, in driveways, garage aprons, or other locations that do not result in tandem spaces. The overall requirement can be reduced by 1 space by providing a permanently assigned employee to assist children from the drop-off zone area to the facility.  
45 licensed children = 3 stalls (30) + 1.5 stalls @ (10) = (5)  
14 spaces total required less 1 for permanently assigned employee = 13  
13 less street frontage loading zone for 2+ spaces = 11

### ZONING CODE FLOOR AREA:

FLOOR AREA SUMMARY PER ZONING CODE 27.04.200 DEFINITION						
	OCCUPANCY	USE	BUILDING LEVEL	GROSS BUILDING AREA PER CBC	COVERED PATIO/WALKWAY BIKE/STAR*	ZONING CODE AREA (GROSS-COVERED)
	(Section 302.1)	(Table 1004.1.1)		(SQ. FT.)		(SQ. FT.)
PROPOSED	S	STORAGE	BASEMENT	1,185	0	1,185
	E	EDUCATION	1ST	2,854	80	2,774
	R	RESIDENTIAL	1ST	2,697	207	2,490
	R	RESIDENTIAL	2ND	2,831	0	2,831
	S	STORAGE	3RD	684	0	684
<b>TOTAL BUILDING AREA</b>						9,964

\*Zoning Code definition of floor area excludes covered balconies and patios, covered walkways, stairs above the first floor, bike storage, and elevator shafts above the first floor.

### CODE SUMMARY:

GOVERNING CODES:  
2010 California Building Code  
City of San Mateo  
ZONING:  
CBDR (Commercial Business District and Residential Overlay)  
CPID (Central Improvement Parking District)  
PRZ (Primary Benefit Zone)  
BUILDING HEIGHT LIMITS:  
32' (Refer to Building Elevations for Building Height)  
SETBACKS:  
None  
EASEMENTS:  
None  
OCCUPANCY GROUPS:  
Residential Group R-3, Education Group E  
CONSTRUCTION TYPE:  
Type V-B (Existing R-3 occupancy) & Type V-A (Proposed E-occupancy)  
MAXIMUM ALLOWABLE HEIGHT:  
Type V-B is existing, no change  
Type V-A is one (1) story for an E-occupancy and 50 feet in height  
PROPOSED BUILDING HEIGHT: One (1) story and 14 feet in height  
MAXIMUM ALLOWABLE FLOOR AREA PER STORY:  
Type V-A is 18,500 square feet for an E-occupancy  
PROPOSED FLOOR AREA PER STORY: 2,854 square feet < 18,500

## PROJECT B: ST. MATTHEW'S CHURCH SITE PHASES II & III

### PROJECT DATA:

ADDRESS:  
1 South El Camino Real  
APN: 032-313-010-4  
SITE AREA:  
90,383 SF (2.07 acres)  
EXISTING  
BUILDING FOOT PRINT:  
22,250 SF  
LOT COVERAGE:  
22,250 / 90,383 = 25%  
GROSS FLOOR AREA:  
32,598 SF

### ZONING CODE FLOOR AREA:

FLOOR AREA SUMMARY PER ZONING CODE 27.04.200 DEFINITION						
	OCCUPANCY	USE	BUILDING LEVEL	GROSS BUILDING AREA PER CBC	COVERED PATIO/WALKWAY BIKE/STAR*	ZONING CODE AREA (GROSS-COVERED)
	(Section 302.1)	(Table 1004.1.1)		(SQ. FT.)		(SQ. FT.)
PROPOSED PHASE II	E/A-3	EDUCATION/ASSEMBLY	BASEMENT	6,978	0	6,978
	E	EDUCATION	1ST	6,904	285	6,619
	E	EDUCATION	2ND	6,940	0	6,940
	E	EDUCATION	3RD	5,937	0	5,937
<b>TOTAL BUILDING AREA</b>				26,759		26,474
PROPOSED PHASE III	-	CIRCULATION	BASEMENT	466	0	466
	A-3 (Existing)	ASSEMBLY	1ST	2,818	139	2,679
	A-3 (New)	ASSEMBLY	1ST	5,663	0	5,663
	A-3 (Existing)	ASSEMBLY	2ND	469	0	469
	S	STORAGE	2ND	1,224	0	1,224
<b>TOTAL BUILDING AREA</b>				10,640	0	10,501

\*Zoning Code definition of floor area excludes covered balconies and patios, covered walkways, stairs above the first floor, bike storage, and elevator shafts above the first floor.

### CODE SUMMARY:

GOVERNING CODES:  
2010 California Building Code  
City of San Mateo  
ZONING:  
CBDR (Commercial Business District and Residential Overlay)  
CPID (Central Improvement Parking District)  
BUILDING HEIGHT LIMITS:  
32' (Refer to Building Elevations for Building Heights)  
SETBACKS:  
Front Yard- 10 Feet (On El Camino Real only)  
OTHER SETBACKS:  
None  
EASEMENTS:  
None  
CONSTRUCTION TYPE:  
St. Matthew's Hall Phase II, Type III-B with automatic sprinklers  
JBI Phase III, Type VB with automatic sprinklers  
(Note: The existing classroom building and remaining original JBI will be provided with automatic sprinklers so the entire building will be Type VB)  
PHASE II  
OCCUPANCY GROUPS:  
Assembly Group A-3, Education Group E  
CONSTRUCTION TYPE:  
Type III-B with automatic sprinklers  
MAXIMUM ALLOWABLE HEIGHT:  
Type III-B is three (3) stories for an E occupancy and 55 feet in height  
Per CBC section 504.2, where a building is equipped with automatic sprinklers throughout, the maximum number of stories may increase by one (1)  
E occupancy (2 stories allowed) + 1 = 3 stories  
PROPOSED BUILDING HEIGHT: Three (3) stories and 59'-6" feet in height  
MAXIMUM ALLOWABLE FLOOR AREA PER STORY:  
Type III-B is 29,000 square feet for an E occupancy  
Type III-B is 19,000 square feet for an A-3 occupancy  
Per CBC section 506.3, where a building is equipped with automatic sprinklers throughout, the maximum allowable area may increase by two hundred percent (200%)  
E occupancy (14,500 square feet per story) X 2 = 29,000 square feet per story  
A-3 occupancy (9,500 square feet per story) X 2 = 19,000 square feet per story  
PROPOSED FLOOR AREA PER STORY:  
Basement (A-3) = 6,978 square feet < 19,000  
First Floor (E) = 6,904 square feet < 29,000  
Second Floor (E) = 6,940 square feet < 29,000  
Third Floor (E) = 5,937 square feet < 29,000  
PHASE III  
OCCUPANCY GROUPS:  
Assembly Group A-3, Education Group E  
CONSTRUCTION TYPE:  
Type V-B with automatic sprinklers  
MAXIMUM ALLOWABLE HEIGHT:  
Type V-B is two (2) stories for an E occupancy and 40 feet in height  
Per CBC section 504.2, where a building is equipped with automatic sprinklers throughout, the maximum number of stories may increase by one (1)  
E occupancy (1 story allowed) + 1 = 2 stories  
PROPOSED BUILDING HEIGHT: Two (2) stories and 27' feet in height  
MAXIMUM ALLOWABLE FLOOR AREA PER STORY:  
Type V-B is 19,000 square feet for an E occupancy  
Type V-B is 12,000 square feet for an A-3 occupancy  
Per CBC section 506.3, where a building is equipped with automatic sprinklers throughout, the maximum allowable area may increase by two hundred percent (200%)  
E occupancy (9,500 square feet per story) X 2 = 19,000 square feet per story  
A-3 occupancy (6,000 square feet per story) X 2 = 12,000 square feet per story  
PROPOSED FLOOR AREA PER STORY:  
Basement (A-3) = 466 square feet < 12,000  
First Floor (A-3) = 8,481 square feet < 12,000  
Second Floor (E) = 1,224 square feet < 19,000 (E accessory-Storage)  
Second Floor (A-3) = 469 square feet < 12,000

## VICINITY MAP



### DRAWING INDEX:

A0.00 COVER SHEET & PROJECT INFO  
A0.01 PLUMBING CALCULATIONS

### PROJECT A: CHARLES HOUSE SITE

A-A0.01 SITE PHOTOS  
A-A0.02 SITE SURVEY  
A-A0.03 EGRESS PLANS  
A-C2.00 PHASE I CIVIL SITE PLAN  
A-L1-1 TREE PROTECTION PLAN  
A-L2-1 LANDSCAPE MATERIAL PLAN  
A-L3-1 LANDSCAPE PLANTING PLAN  
A-L3-2 LANDSCAPE PLANT LIST  
A-L4-1 LANDSCAPE DETAILS  
A-L4-2 LANDSCAPE DETAILS  
A-L4-3 LANDSCAPE DETAILS  
A-L4-4 LANDSCAPE DETAILS  
A-L4-5 LANDSCAPE ADD ALL DETAILS  
A-L4-6 LANDSCAPE D.P.O.I. DETAILS  
A-L5-1 IRRIGATION PLAN  
A-L5-2 IRRIGATION DETAILS  
A-A1.00 SITE PLAN  
A-A1.01 PHOTOMETRIC PLAN  
A-A1.02 SITE SECTIONS  
A-A2.00 BASEMENT PLAN  
A-A2.01 FIRST FLOOR PLAN  
A-A2.02 ROOF/SECOND FLOOR PLAN  
A-A3.01 EXTERIOR ELEVATIONS  
A-A3.02 EXTERIOR ELEVATIONS  
A-A3.50 BUILDING SECTIONS

### PROJECT B: ST. MATTHEW'S CHURCH SITE PHASES II & III

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B-A0.02 SITE SURVEY  
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B-A0.04 PHASE II EGRESS PLANS  
B-C2.00 PHASE II CIVIL SITE PLAN  
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B-L3-2 LANDSCAPE PLANT LIST  
B-L4-1 LANDSCAPE DETAILS  
B-L5-1 LANDSCAPE PLANTING DETAILS  
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B-A1.00 SITE PLAN  
B-A1.01 PHOTOMETRIC PLAN  
B-A2.00 BASEMENT PLAN  
B-A2.01 FIRST FLOOR PLAN  
B-A2.02 SECOND FLOOR PLAN  
B-A2.03 ROOF/THIRD FLOOR PLAN  
B-A3.01 EXTERIOR ELEVATIONS & BUILDING SECTIONS  
B-A3.02 EXTERIOR ELEVATIONS  
B-A3.50 BUILDING SECTIONS  
B-A3.51 BUILDING SECTIONS  
B-A3.52 BUILDING SECTIONS

### DEFERRED SUBMITTALS:

FOR ALL PHASES, THE FOLLOWING ITEMS WILL BE ISSUED AS DEFERRED SUBMITTALS:

- FIRE ALARM SYSTEM
- SPRINKLER SYSTEM
- UL300 HOOD (WHERE APPLICABLE)

### PROJECT DIRECTORY:

APPLICANT:  
THE EPISCOPAL CHURCH OF ST. MATTHEW  
& ST. MATTHEW'S EPISCOPAL DAY SCHOOL  
1 SOUTH EL CAMINO REAL  
SAN MATEO, CA 94401  
(650) 342 1481  
(650) 342 3436  
CONTACT: Joel Roos, Owner Representative  
joelr@putco.com

ARCHITECT:  
PFAU LONG ARCHITECTURE, LTD.  
98 JACK LONDON LANE  
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PFAU LONG  
ARCHITECTURE

THE EPISCOPAL CHURCH  
OF ST. MATTHEW  
&  
ST. MATTHEW'S EPISCOPAL  
DAY SCHOOL MASTER PLAN

One South El Camino Real  
San Mateo, California 94401

PROJECT A:  
Charles House Site  
PHASE I  
&  
PROJECT B:  
St. Matthew's Church Site  
PHASES II & III

PLANNING  
DEPARTMENT  
SUBMITTAL  
31 JULY 2012

1 REVISED 10 OCTOBER 2012

2 REVISED 21 NOVEMBER 2012

A0.00

Scale  
All drawings and written material appearing herein shall be the property of PFAU LONG ARCHITECTURE, LTD. and shall not be used for any other project without the written consent of the architect.

THE EPISCOPAL CHURCH  
OF ST. MATTHEW  
&  
ST. MATTHEW'S EPISCOPAL  
DAY SCHOOL MASTER PLAN

One South El Camino Real  
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Occupancy	A-1
Net A-1-Occupancy Areas *	3,432 SF
A-1-Occupancy Load Factor	1 per 15 SF
A-1-Occupant Load	229: 115 Female 115 Male
A-1-Fixtures Required	<p><b>Water Closets:</b> Female: 8: 101-200 Male: 2: 101-200</p> <p>Female: 8 required Male: 2 required</p> <p><b>Urinals:</b> Male: 2: 101-200</p> <p>Male: 2 required</p> <p><b>Lavatories:</b> Female: 1: 1-200 Male: 1: 1-200</p> <p>Female: 1 required Male: 1 required</p>
Fixtures Provided **	<p><b>Water Closets:</b> Female: 10 Male: 4</p> <p><b>Urinals:</b> Male: 6</p> <p><b>Lavatories:</b> Female: 7 Male: 7</p> <p><b>Unisex:</b> 2 Water Closets, 0 Urinals, 2 Lavatories</p>

\* Includes remodeled Julia Beylard Hall (JBH) theater and new stage space.

\*\* Fixtures provided are for Phase II E & B-Occupancy loads (see detail 2 this sheet) and are counted as they are not simultaneously used with the A-1 occupancy group. Also, these fixture totals do not include the following existing plumbing fixtures in the existing facilities:

Existing Classroom Building

5 Female Water Closets, 4 Male Water Closets, 5 Urinals, 5 Female Lavatories, & 5 Male Lavatories, 3 Unisex facilities w/ 1 Water Closet & 1 Lavatory each

Julia Beylard Hall to remain

1 Female facility w/ 2 Water Closets & 2 Lavatories

PROJECT B: PHASE III JBH THEATER PLUMBING CALCULATIONS | 4

Occupancy	A-1 (Gymnasium when used for most intense assembly use)
A-1-Occupant Load *	480: 240 Female 240 Male
A-1-Fixtures Required	<p><b>Water Closets:</b> Female: 11: 201-400 Male: 3: 201-400</p> <p>Female: 11 required Male: 3 required</p> <p><b>Urinals:</b> Male: 3: 201-400</p> <p>Male: 3 required</p> <p><b>Lavatories:</b> Female: 2: 201-400 Male: 2: 201-400</p> <p>Female: 2 required Male: 2 required</p>
Fixtures Provided **	<p><b>Water Closets:</b> Female: 10 Male: 4</p> <p><b>Urinals:</b> Male: 6</p> <p><b>Lavatories:</b> Female: 7 Male: 7</p> <p><b>Unisex:</b> 2 Water Closets, 0 Urinals, 2 Lavatories</p>

\* See Egress Plan B-A0.03. Gymnasium occupancy load for assembly purposes is capped at 480 occupants, determined by the egress width provided.

\*\* Fixtures provided are for E & B-Occupancy loads (see detail 2 this sheet) and are counted as they are not simultaneously used with the more intense A-1 occupancy.

PROJECT B: PHASE II ST. MATTHEW'S HALL PLUMBING CALCULATIONS | 3

Occupancy	Per 2010 CPC Table 4-1 & Table A E & B
Net E-Occupancy Areas *	6,141 SF
E-Occupancy Load Factor	1 per 50 SF
E-Occupant Load	123: 62 Female 62 Male
E-Occupant Fixtures Required	<p><b>Water Closets:</b> Female: 1 per 25 Male: 1 per 30</p> <p>Female: 3 required Male: 2 required</p> <p><b>Urinals:</b> Male: 1 per 75</p> <p>Male: 1 required</p> <p><b>Lavatories:</b> Female: 1 per 35 Male: 1 per 35</p> <p>Female: 2 required Male: 2 required</p>
E-Occupant Fixtures Provided	<p><b>Water Closets:</b> Female: 10 Male: 4</p> <p><b>Urinals:</b> Male: 6</p> <p><b>Lavatories:</b> Female: 7 Male: 7</p>
Net B-Occupancy Areas *	B: 660 SF
B Occupancy Load Factor	1 per 200 SF
B-Occupant Load **	3 + 18** = 21: 11 Female 11 Male
B-Occupant Fixtures Required	<p><b>Water Closets:</b> Female &amp; Male 1: 1-15</p> <p>Female: 1 required Male: 1 required Total Required: 2</p> <p><b>Urinals:</b> 1 per 50 Male: 1 required</p> <p><b>Lavatories:</b> Female &amp; Male 1 per 40</p> <p>Female: 1 required Male: 1 required Total Required: 2</p>
B-Occupant Fixtures Provided	<p><b>Unisex:</b> 2 Water Closets, 0 Urinals, 2 Lavatories</p>

\* Net Area is SF permanently allocated to Students or Staff and does not include specialty classrooms such as the gymnasium, library, art classroom, etc.

\*\* B-Occupant Load Assumptions not including administrative office space.

1 Teacher per instruction space @ 17 spaces  
1 Sexton  
18 TOTAL

PROJECT B: PHASE II ST. MATTHEW'S HALL PLUMBING CALCULATIONS | 2

Occupancy	Per 2010 CPC Table 4-1 & Table A E	Per CA DSS Child Care Center Licensing Requirements
Net Area *	2,001 SF	2,001 SF
Occupancy Load Factor	1 per 50 SF	1 per 35 SF Min.
Children Load	40: 20 Female 20 Male	57 Children Max. Enrollment
Children Fixtures Required	<p><b>Water Closets:</b> Female &amp; Male 1: 1-20</p> <p>Female: 1 required Male: 1 required Total Required: 2</p> <p><b>Lavatories:</b> Female &amp; Male 1: 1-25</p> <p>Female: 1 required Male: 1 required Total Required: 2</p>	<p><b>Water Closets:</b> 1 per 15 children Total Required: 4</p> <p><b>Lavatories:</b> 1 per 15 children Total Required: 4</p>
Children Fixtures Provided	<p><b>Unisex</b> 3 Water Closets*, 4 Lavatories</p> <p>*Note: With # of fixtures provided, center will be licensed for 45 children max. per CA DSS Child Care Center Licensing Requirements</p>	
Staff Load **	6: 3 Female 3 Male	N/A
Staff Fixtures Required	<p><b>Water Closets:</b> Female &amp; Male 1: 1-15</p> <p>Female: 1 required Male: 1 required Total Required: 2</p> <p><b>Urinals:</b> 1 per 50 Male: 1 required</p> <p><b>Lavatories:</b> Female &amp; Male 1 per 40</p> <p>Female: 1 required Male: 1 required Total Required: 2</p>	N/A
Staff Fixtures Provided	<p><b>Unisex</b> 2 Water Closets, 0 Urinals, 2 Lavatories</p>	

\* Net Free SF Area does not include accessory use spaces in classrooms such as storage and restroom facilities

\*\* Staff Load Assumptions

2 Preschool Teachers  
2 Preschool Assistants  
1 Pre-Kindergarten Teacher  
1 Pre-Kindergarten Assistant  
6 TOTAL

NOTE:  
DISCREPANCIES BETWEEN GOVERNING CODES ARE CLARIFIED IN THE DECEMBER 20, 2012 LETTER FROM ST. MATTHEW'S TO THE BUILDING DEPARTMENT, UNDER SEPARATE COVER.

PROJECT A: CHARLES HOUSE PLUMBING CALCULATIONS | 1



A0.01

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THE EPISCOPAL CHURCH  
OF ST. MATTHEW  
&  
ST. MATTHEW'S EPISCOPAL  
DAY SCHOOL MASTER PLAN

One South El Camino Real  
San Mateo, California 94401

**PROJECT A:**  
Charles House Site  
PHASE I  
&  
**PROJECT B:**  
St. Matthew's Church Site  
PHASES II & III

**PLANNING  
DEPARTMENT  
SUBMITTAL**  
31 JULY 2012



CHARLES HOUSE VIEW FROM SECOND AVENUE



CHARLES HOUSE VIEW FROM SECOND AVENUE



CHARLES HOUSE FRONT ENTRANCE VIEW



CHARLES HOUSE VIEW FROM THE NORTHEAST



CHARLES HOUSE NORTH ELEVATION



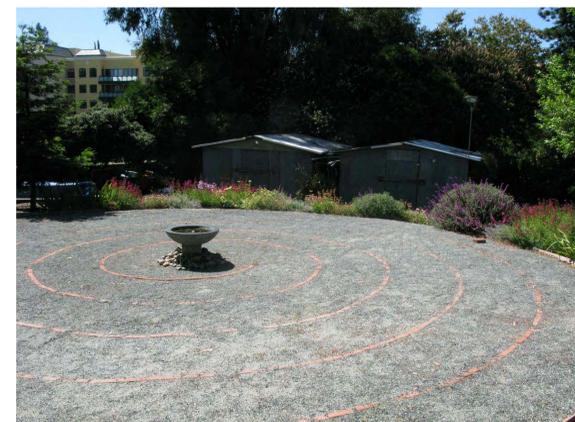
CHARLES HOUSE VIEW FROM THE NORTHWEST



CHARLES HOUSE WEST ELEVATION



MILLS CORNER PROPERTY VIEW FROM CHARLES HOUSE



MILLS CORNER PROPERTY LOOKING NORTH TOWARDS SAN MATEO CREEK



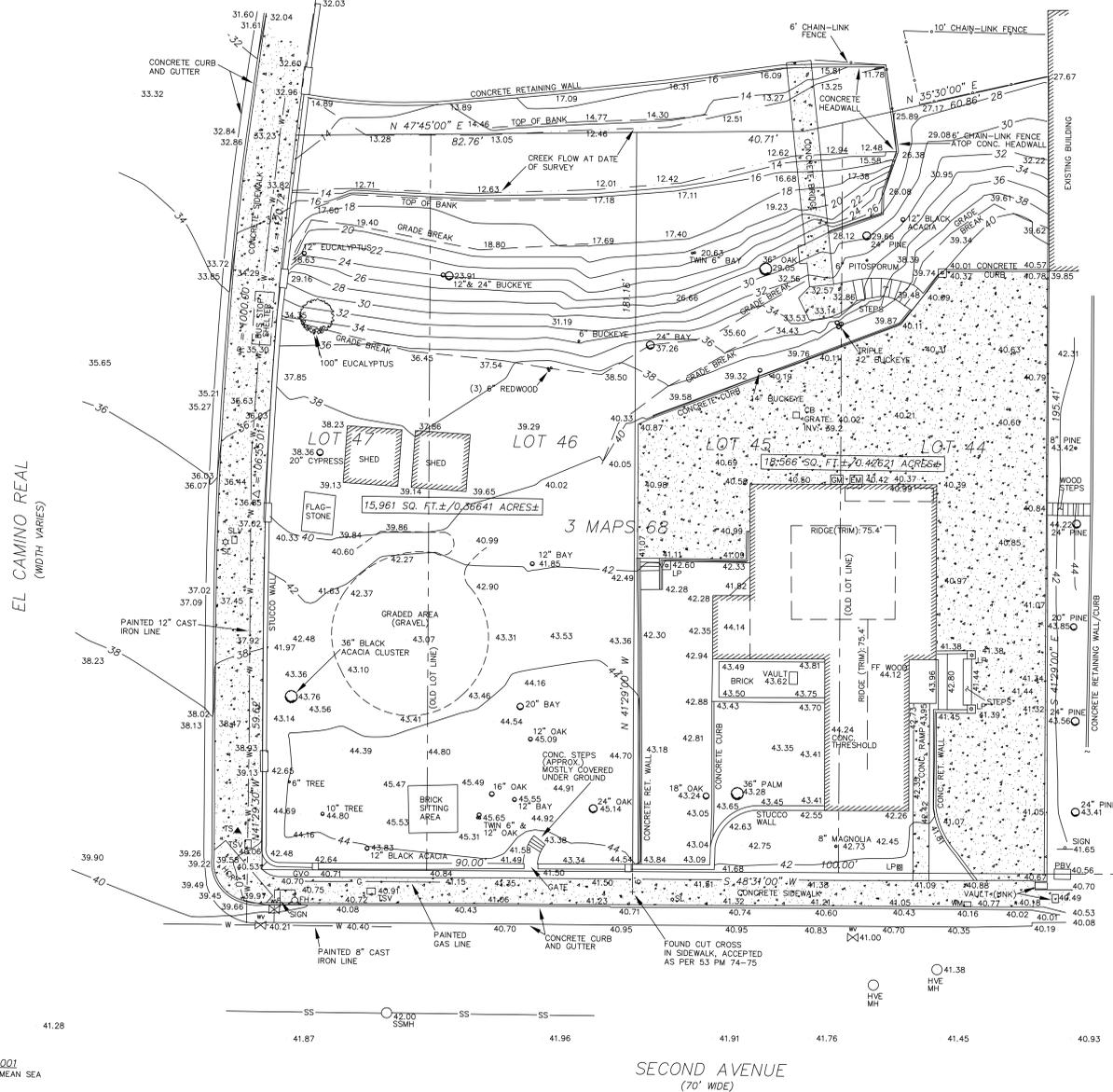
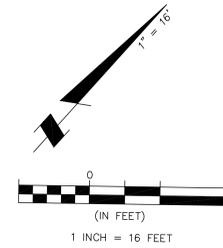
THE EPISCOPAL CHURCH OF ST. MATTHEW & ST. MATTHEW'S EPISCOPAL DAY SCHOOL MASTER PLAN

One South El Camino Real San Mateo, California 94401

PROJECT A: Charles House Site PHASE I & PROJECT B: St. Matthew's Church Site PHASES II & III

PLANNING DEPARTMENT SUBMITTAL 31 JULY 2012

PARCEL B PARCEL MAP NO. 250 VOLUME 53 PM 74 AND 75



BASIS OF BEARINGS BEARINGS SHOWN HEREON TAKEN FROM "PARCEL MAP NO. 250" WHICH WAS FILED FOR RECORD IN VOLUME 53 OF PARCEL MAPS PAGES 74-75, SAN MATEO COUNTY RECORDS.

BENCHMARK ELEVATIONS SHOWN HEREON ARE BASED UPON MEAN SEA LEVEL DATUM (NGVD 29). BENCHMARK USED IS THE RAMSET NAIL AND WASHER AT THE ELECTROLIER BASE ON THE WESTERLY SIDE OF EL CAMINO REAL AND SECOND AVENUE WITH AN ELEVATION OF 41.25 FEET.

NOTES: BGT DID NOT RECEIVE A TITLE REPORT COVERING THE SUBJECT PROPERTY; THEREFORE, ANY EASEMENTS OF RECORD AFFECTING IT COULD NOT BE PLOTTED HEREON. UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

THE LOCATION OF THE SEWER CLEANOUT WAS NOT FOUND BY THE FIELD CREW; THEREFORE, THE CLEANOUT(S), AND THE PROBABLE LOCATION OF THE SEWER LATERAL, COULD NOT BE VERIFIED. VERIFICATION TO BE DONE BY OTHERS.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELDCREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING BRYAN G. TAYLOR, INC. Serving the San Francisco Bay Area

DATE OF FIELD SURVEY: JUNE 04, 2010 JOB NUMBER: 10-001

LEGEND table with columns for symbols and descriptions of various features like AC (Asphalt Concrete), BW (Back of Walk), CB (Catch Basin), etc.

BENCHMARK 096-001 ELEVATION OF 41.25', MEAN SEA LEVEL DATUM

**THE EPISCOPAL CHURCH  
OF ST. MATTHEW  
&  
ST. MATTHEW'S EPISCOPAL  
DAY SCHOOL MASTER PLAN**

One South El Camino Real  
San Mateo, California 94401

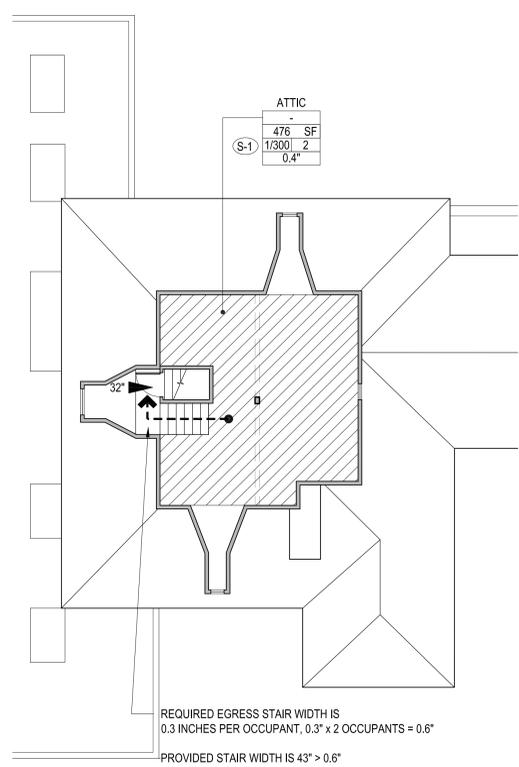
**PROJECT A:**  
Charles House Site  
PHASE I  
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PHASES II & III

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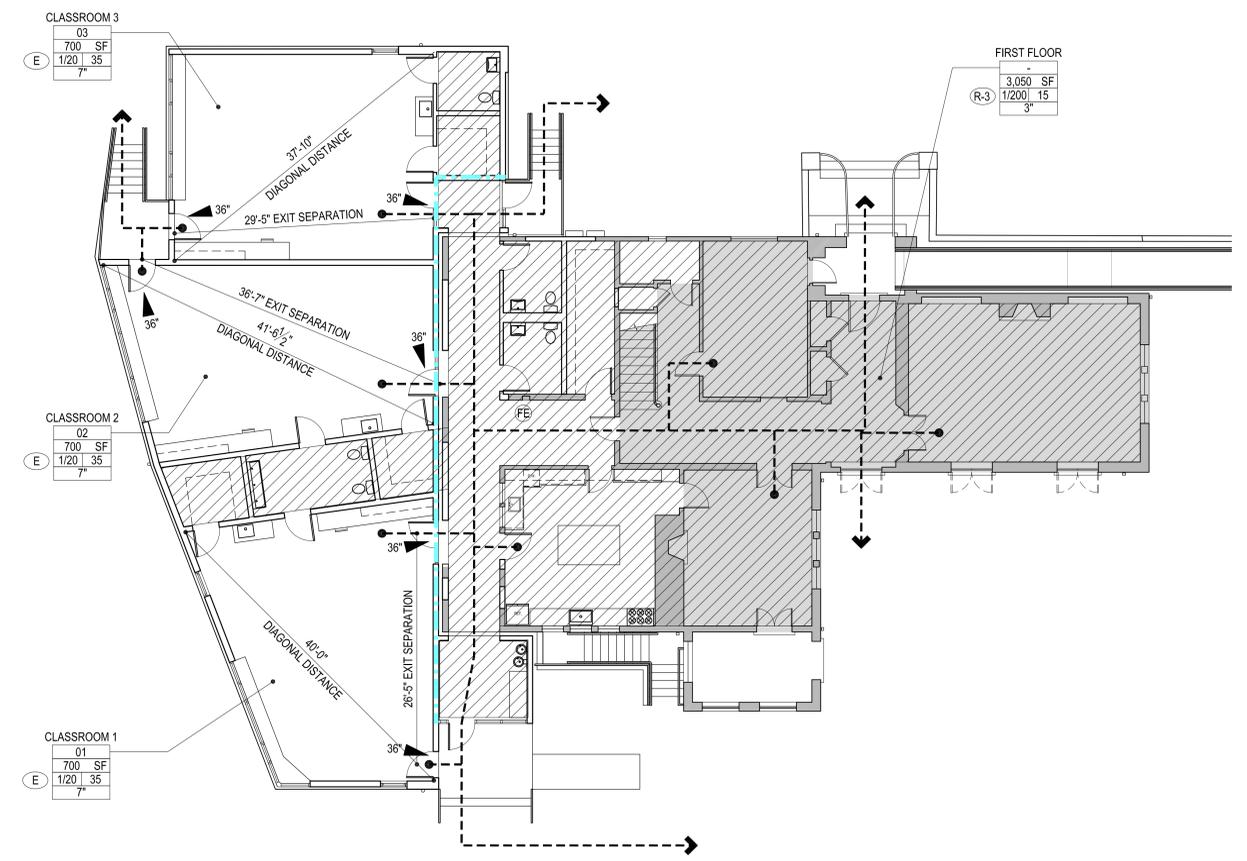
1 REVISED 10 OCTOBER 2012

- DOORS:**
- EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
  - MANUALLY OPERATED EDGE OR SURFACE-MOUNTED FLUSH BOLTS AND SURFACE BOLTS ARE PROHIBITED. WHEN EXIT DOORS ARE USED IN PAIRS AND APPROVED AUTOMATIC FLUSH BOLTS ARE USED, THE DOOR LEAF HAVING THE AUTOMATIC FLUSH BOLTS SHALL HAVE NO DOORKNOB OR SURFACE-MOUNTED HARDWARE. THE UNLATCHING OF ANY LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
  - LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, PANIC BARS, PUSH/PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS SHALL OPERATE AS ABOVE IN EGRESS DIRECTION.
  - HAND-ACTIVATED DOOR OPENING HARDWARE SHALL BE CENTERED BETWEEN 34" AND 48" ABOVE THE FLOOR.
  - WHERE A PAIR OF DOORS IS UTILIZED, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR, UNOBSTRUCTED OPENING WIDTH OF 32" WITH THE LEAF POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
  - WHEN AN AUTOMATIC DOOR OPERATOR IS UTILIZED TO OPERATE A PAIR OF DOORS, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR, UNOBSTRUCTED OPENING WIDTH OF 32" WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
  - FOR HINGED DOORS, THE OPENING WIDTH SHALL BE MEASURED WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
  - MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS. SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MAXIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS.
- STAIRWAYS:**
- STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE, AND EVERY STAIRWAY REQUIRED TO BE MORE THAN 60" IN WIDTH SHALL BE PROVIDED WITH NOT LESS THAN ONE INTERMEDIATE HANDRAIL FOR EACH 60" OF REQUIRED LENGTH. INTERMEDIATE HANDRAILS SHALL BE SPACED APPROXIMATELY EQUALLY ACROSS THE ENTIRE WIDTH OF THE STAIRWAY.
  - HANDRAILS SHALL BE 34" TO 38" ABOVE THE NOSING OF THE TREADS. HANDRAIL AND MOUNTING DEVICE SHALL BE DESIGNED FOR 250 POUNDS / LINEAR FEET LOAD.
  - HANDRAILS SHALL EXTEND A MINIMUM OF 12" BEYOND THE TOP NOSING AND 12" PLUS THE TREAD WIDTH BEYOND THE BOTTOM NOSING.
  - WHERE THE EXTENSION OF THE HANDRAIL IN THE DIRECTION OF THE STAIR RUN WOULD CREATE A HAZARD, THE TERMINATION OF THE EXTENSION SHALL BE MADE EITHER ROUNDED OR RETURNED SMOOTHLY TO THE FLOOR, WALL, OR POST. WHERE THE STAIRS ARE CONTINUOUS FROM LANDING TO LANDING, THE INNER RAIL SHALL BE CONTINUOUS AND NEED NOT EXTEND OUT INTO THE LANDINGS.
  - ENDS SHALL BE RETURNED OR TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAIL SHALL NOT ROTATE WITHIN THE FITTINGS.
- HANDRAILS:**
- THE HANDGRIP PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1-1/4" NOR MORE THAN 1-1/2" IN CROSS SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. ANY WALL OR OTHER SURFACE ADJACENT TO THE HANDRAIL SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8".
  - HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF 1-1/2" BETWEEN THE WALL AND THE HANDRAIL. HANDRAILS MAY BE LOCATED IN A RECESS IF THE RECESS IS A MAXIMUM OF 3" DEEP AND EXTENDS AT LEAST 1/2" ABOVE THE TOP OF THE RAIL.
  - THE UPPER APPROACH AND THE LOWER TREAD OF EACH STAIR SHALL BE MARKED BY A STRIP OF CLEARLY CONTRASTING COLOR AT LEAST 2" AND NO MORE THAN 4" WIDE PLACED PARALLEL TO AND NOT MORE THAN 1" FROM THE NOSE OF THE STEP OR LANDING TO ALERT THE VISUALLY IMPAIRED. THE STRIP SHALL BE OF A MATERIAL THAT IS AT LEAST AS SLIP-RESISTANT AS THE OTHER TREADS OF THE STAIR. A PAINTED STRIP SHALL BE ACCEPTABLE.
  - ALL TREAD SURFACES SHALL BE SLIP-RESISTANT. TREADS SHALL HAVE SMOOTH, ROUNDED, OR CHAMFERED EXPOSED EDGES, AND NO ABRUPT EDGES AT THE NOSING (LOWER FRONT EDGE).
  - THE NOSING SHALL NOT PROJECT MORE THAN 1-1/2" PAST THE FACE OF THE RISER BELOW.

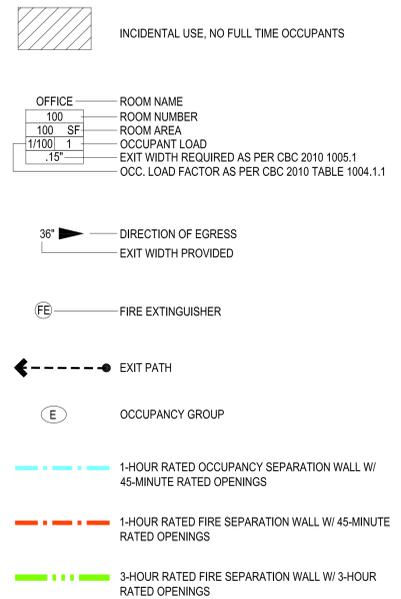
- CORRIDORS & AISLES**
- CORRIDORS SERVING E OCCUPANCIES WITH A REQUIRED CAPACITY OF 100 OR MORE SHALL NOT BE LESS THAN 72" IN WIDTH.
  - CIRCULATION AISLES AND PEDESTRIAN WAYS SHALL BE SIZED ACCORDING TO FUNCTIONAL REQUIREMENTS AND IN NO CASE SHALL BE LESS THAN 36" IN CLEAR WIDTH.



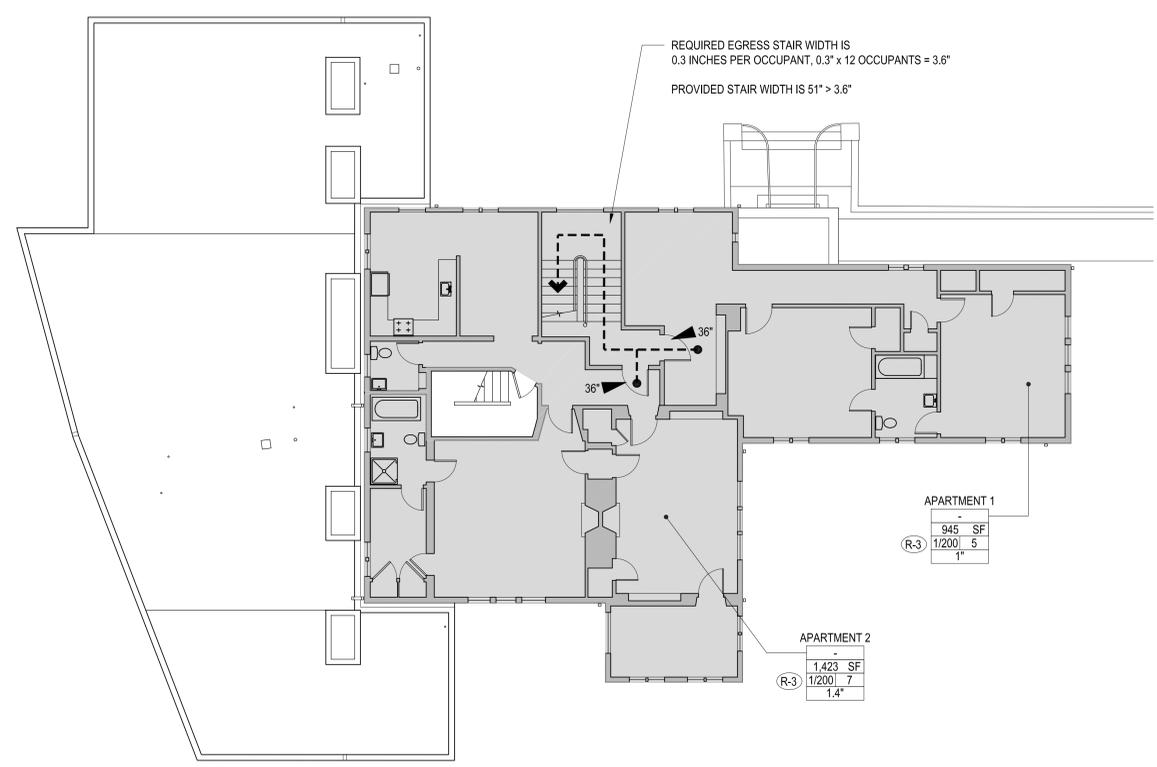
THIRD FLOOR PLAN | 4



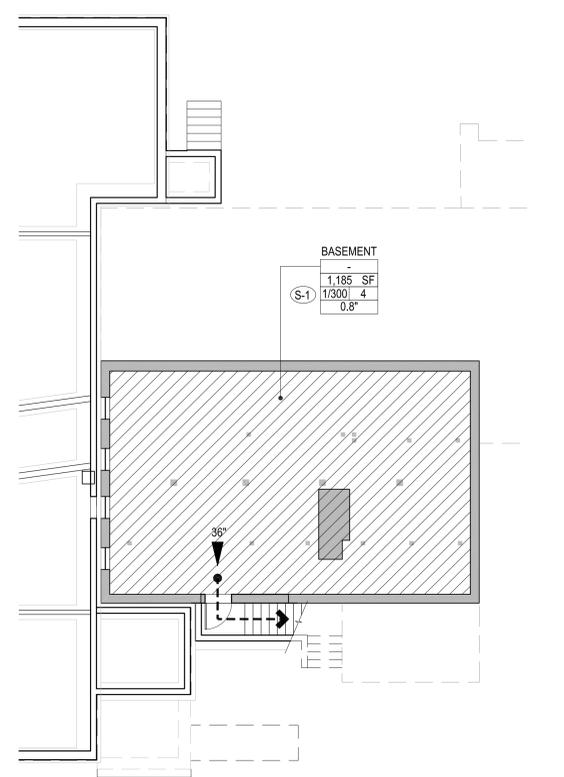
FIRST FLOOR PLAN | 2



EGRESS LEGEND | 5



SECOND FLOOR PLAN | 3



BASEMENT FLOOR PLAN | 1

PROJECT NORTH

**A-A0.03**

Scale

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EXISTING AREAS	
AREA DESCRIPTION	AREA (SF)
BUILDING	3,282
LANDSCAPING	14,270
ROAD	6,431
HARDSCAPING	1,060
PERMEABLE PAVING/PAVERS	0
GRAVEL	1,237
<b>TOTAL</b>	<b>26,280</b>

EXISTING AREA SUMMARY	
AREA DESCRIPTION	AREA (SF)
SITE	34,526
DISTURBED *	22,998
EXISTING IMPERVIOUS	10,773

\* DOES NOT INCLUDE EXISTING BUILDING

PROPOSED AREAS	
AREA DESCRIPTION	AREA (SF)
LANDSCAPING	10,324
SITE	34,526
BUILDING	6,068
ROAD	3,493
PERMEABLE PAVING/PAVERS	398
GRAVEL	0
HARDSCAPING	5,487
<b>TOTAL</b>	<b>26,280</b>

PROPOSED AREA SUMMARY	
AREA DESCRIPTION	AREA (SF)
SITE	34,526
DISTURBED *	22,998
PROPOSED IMPERVIOUS	15,048
REQUIRED STORMWATER TREATMENT AREA (BIORETENTION)	602

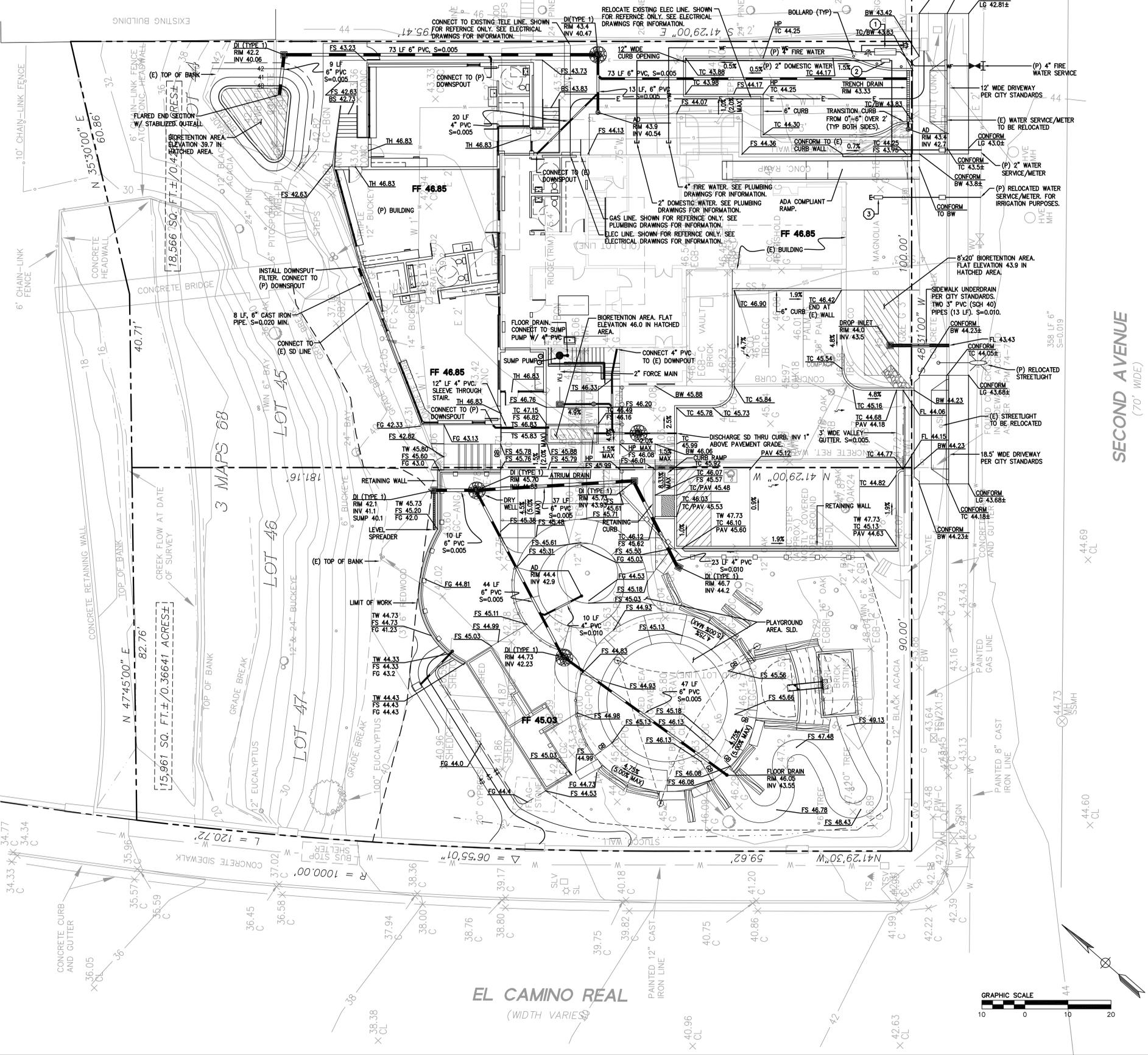
\* DOES NOT INCLUDE EXISTING BUILDING  
\*\* TREATMENT AREAS SHALL BE TRIBUTARY TO IMPERVIOUS SURFACE  
\*\*\* STORMWATER TREATMENT SHALL CONFORM TO THE CITY OF SAN MATEO REQUIREMENTS

**ABBREVIATIONS**

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
AC	ASPHALT CONCRETE	LP	LOW POINT
AD	AREA DRAIN	LT	LEFT
AGC	AGGREGATE	MAX	MAXIMUM
ANG.PT.	ANGLE POINT	MH	MANHOLE
APN	ASSESSOR'S PARCEL NUMBER	MID	MIDDLE
APPROX	APPROXIMATE	MIN	MINIMUM
AVG	AVERAGE	MISC	MISCELLANEOUS
BC	BEGINNING OF CURVE	MON	MONUMENT
BCR	BEGIN CURB RETURN	NO.	NUMBER
BLDG	BUILDING	NTS	NOT TO SCALE
BM	BENCH MARK	O.C.	ON CENTER
BS	BOTTOM OF SLOPE	O.D.	OUTSIDE DIAMETER
B/W	BOTTOM OF WALL	OFF	OFFSET
BW	BACK OF WALK	OH	OVERHEAD
CB	CATCH BASIN	PAD	PAD ELEVATION
CB GRATE	CATCH BASIN GRATE	PC	PROPOSED
CB INV.	CATCH BASIN INVERT	PCC	POINT OF COMPOUND CURVE
CC	CUBIC FEET	PC	OR PORTLAND CEMENT CONCRETE
CFC	CALIFORNIA FIRE CODE	PERF	PERFORATED
C&G	CURB & GUTTER	PGE	PACIFIC GAS AND ELECTRIC
CP	CAST IRON PIPE	PL	PROPERTY LINE
CL	CHAIN LINK	PP	POWER POLE
CM	CORRUGATED METAL PIPE	PR	PROPOSED
CONC	CONCRETE	PS	POUNDS PER SQUARE INCH
CO	CLEANOUT	PT	POINT
COM	COMMUNICATION	PT&T	PACIFIC TELEPHONE AND TELEGRAPH (PACIFIC BELL)
CONST	CONSTRUCTION	PROP	PROPOSED
CONT	CONSTRUCTION, CONTINUATION	PS	POUNDS PER SQUARE INCH
COURT	COURT	PT	POINT
CUL	CULVERT	PUE	PACIFIC GAS AND ELECTRIC
CY	CUBIC YARD	PVC	POLYVINYL CHLORIDE
DI	DRAIN INLET	R	RADIUS, RIGHT
DIA	DIAMETER	RD	ROAD
DIP	DUCTILE IRON PIPE	RM EL	ROOM ELEVATION
DW	DOMESTIC WATER	RT	RIGHT
D/W	DRIVEWAY	R.T.G.	RIGHT TO GRADE
EA	EACH	R/W	RIGHT OF WAY
EL	ELEVATION	RWL	RAIN WATER LEADER
EP	EDGE OF PAVEMENT	S	SLOPE
ESMT	EASEMENT	SD	STORM DRAIN
EVA	EMERGENCY VEHICLE ACCESS	SDCO	STORM DRAIN CLEAN OUT
EX(E)	EXISTING	SDE	STORM DRAIN EASEMENT
(F)	FUTURE	SDMH	STORM DRAIN MANHOLE
F/C	FACE OF CURB	SF	SQUARE FEET
FF	FINISH FLOOR	SHT	SHEET
FG	FINISH GRADE	SL	STREET LIGHT
FH	FIRE HYDRANT	SLD	SEE LANDSCAPE DRAWINGS
FL	FLOW LINE	SNS	SEE PLUMBING DRAWINGS
FM	FORCE MAIN	SPD	SEE PLUMBING DRAWINGS
FP	FINISH PAVEMENT	SS	SANITARY SEWER
FS	FINISH SURFACE	SSCO	SANITARY SEWER CLEANOUT
FT	FEET	STD	SEE STRUCTURAL DRAWINGS
FW	FIRE WATER	SSE	SANITARY SEWER EASEMENT
G	GAS	SSMH	SANITARY SEWER MANHOLE
GB	GRADE BREAK	S/W	SIDEWALK
GE	GRADE ELEVATION	TC	TOP OF CURB
GND	GROUND	TELE	TELEPHONE
GR	GRADE	TEMP	TEMPORARY
GRV	GATE VALVE	TO	TOP OF GRADE
HORIZ	HORIZONTAL	TP	TOP OF PAVEMENT
HP	HIGH POINT	TRANS	TRANSFORMER
HDPE	HIGH DENSITY POLYETHYLENE	TOP	TOP OF SLOPE
IR	IRRIGATION	TW	TOP OF WALL
IN	INCHES	TYP.	TYPICAL
INV	INVERT	UG	UNDERGROUND
IRR	IRRIGATION	VCP	VITRIFIED CLAY PIPE
JB	JOINT BOX	VERT	VERTICAL
JP	JOINT POLE	W	WITH
JT	JOINT TRENCH	W/O	WITHOUT
L	LENGTH, LEFT	WE	WATERLINE
LAT	LATERAL	WM	WATER METER
LF	LINEAR FEET	WV	WATER VALVE
		W	WATER
		WH	WALL HEIGHT

**LEGEND**

- ① (P) 4" REDUCED PRESSURE DETECTOR CHECK ASSEMBLY (FOR FIRE WATER SERVICE).
- ② (P) 2" REDUCED PRESSURE BACKFLOW ASSEMBLY W/ ENCLOSURE (FOR DOMESTIC WATER SERVICE).
- ③ (P) 1" REDUCED PRESSURE BACKFLOW ASSEMBLY W/ ENCLOSURE (FOR IRRIGATION). CONFIRM SIZE WITH IRRIGATION PLANS.



**LEGEND**

	PROPOSED	EXISTING
PROPERTY LINE	NONE	---
RIGHT OF WAY (ROW)	NONE	---
EASEMENT	NONE	---
CONTOUR LINE	145	105
STORM DRAIN LINE	---	---
SUBDRAIN	---	NONE
DRAINAGE DITCH	---	NONE
FENCE	NONE	X-X-X
QTY STANDARD PRECAST MANHOLE	●	○
QTY STANDARD CATCH BASIN	■	□
DROP INLET	■	⊖
STORM DRAIN CLEAN OUT	●	⊖
SANITARY SEWER LINE	—SS—	—SS—
WATER LINE	—W—	—W—
HYDRANT	●	⊙
BACKFLOW PREVENTOR	□	NONE
GAS LINE	NONE	—G—
OVERHEAD ELECTRICAL	NONE	—OH—
JOINT TRENCH	—JT—	NONE
STREET LIGHT	NONE	⊙
SIGN	●	●
WATER VALVE	⊘	NONE

△ REVISED 10 OCT 2012  
△ REVISED 21 NOV 2012

PROJECT A  
SITE PLAN - PHASE I



**EL CAMINO REAL**  
(WIDTH VARIES)

**A-C2.00**

**THE EPISCOPAL CHURCH  
OF ST. MATTHEW  
&  
ST. MATTHEW'S EPISCOPAL  
DAY SCHOOL MASTER PLAN**

One South El Camino Real  
San Mateo, California 94401

**PROJECT A:  
Charles House Site  
PHASE I  
&  
PROJECT B:  
St. Matthew's Church Site  
PHASES II & III**

**PLANNING  
DEPARTMENT  
SUBMITTAL**

OCTOBER 10, 2012



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TREE PROTECTION PLAN



**A-L1-1**

1" = 10'-0"

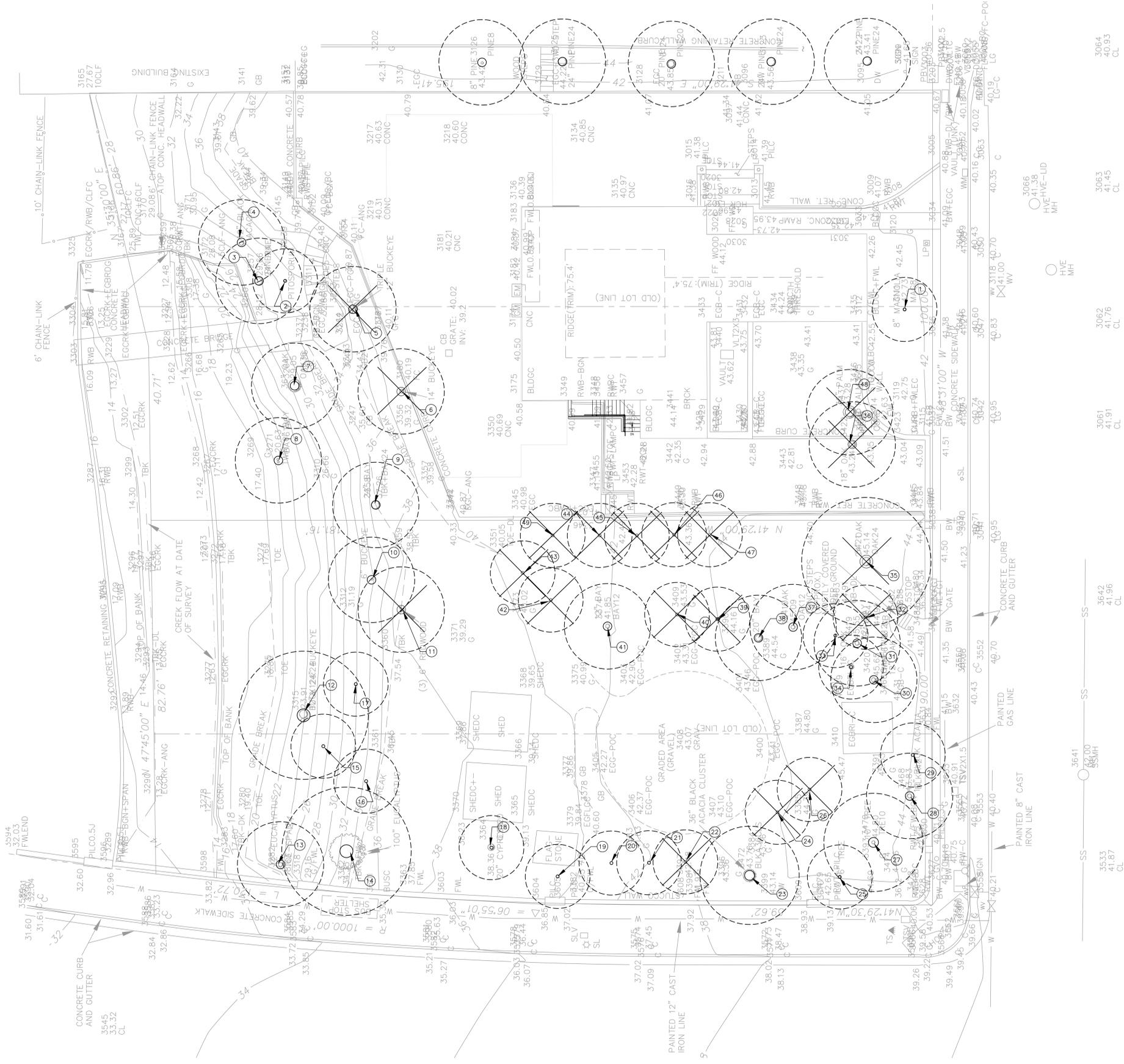
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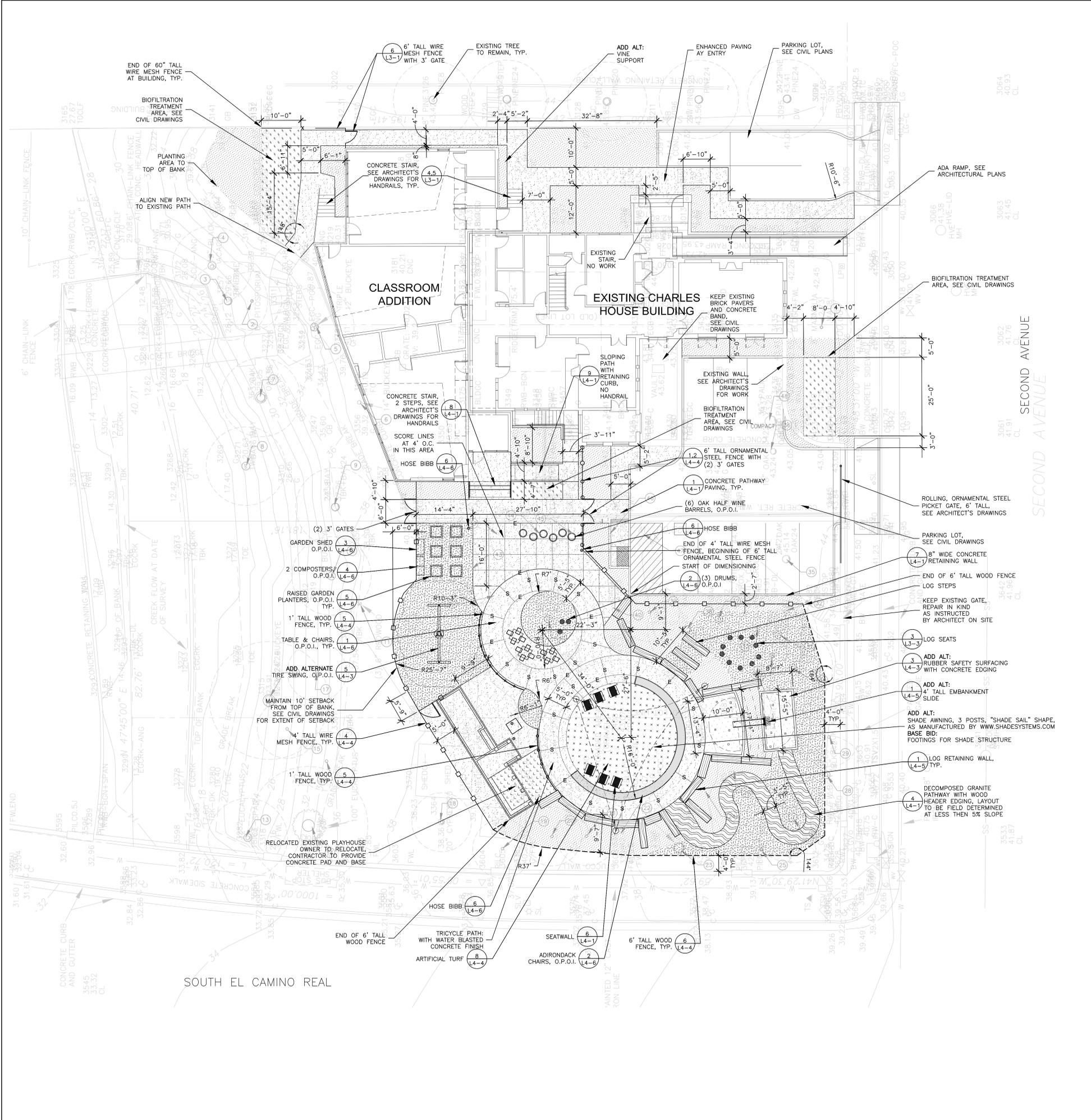
**TREE REMOVAL LEGEND**

- LIMIT OF WORK/CONSTRUCTION FENCING
- EXISTING TREE AND CANOPY
- TREE PROTECTION FENCING  
TPZ = TREE PROTECTION ZONE, IS DEFINED AS THE DRIP LINE PLUS 4', PLACE TREE PROTECTION FENCING AT THIS LOCATION
- TREE TO BE REMOVED, REMOVE TRUNK TO 2' BELOW FINISH GRADE
- ⑪ TREE NUMBER FROM ARBORIST REPORT DATED AUGUST 11, 2011 PREPARED BY ARBORWELL. SEE REPORT FOR TREE SPECIES AND SIZE.

**TREE REMOVAL NOTES**

1. PRIOR TO THE START OF DEMOLITION, CLEARING OR GRUBBING MEET WITH THE PROJECT ARBORIST TO IDENTIFY TREES SLATED FOR PRESERVATION AND REMOVAL, REVIEW THE LOCATION OF THE TREE PROTECTION FENCING, WORK PROCEDURES AND THE NEED FOR CLEARANCE AROUND TREES.
2. FENCE TREES TO BE RETAINED TO COMPLETELY ENCLOSE THE TREE PROTECTION ZONE (TPZ) PRIOR TO DEMOLITION, GRUBBING OR GRADING. THE TPZ IS DEFINED AS 4' OUT FROM THE CANOPY OF THE TREE. FENCING TO REMAIN IN PLACE UNTIL GRADING AND CONSTRUCTION IS COMPLETED.
3. STRICTLY MINIMIZE GRADING, CONSTRUCTION AND DEMOLITION WORK TO OCCUR WITHIN THE TPZ. MODIFICATIONS MUST BE MONITORED AND APPROVED BY THE PROJECT ARBORIST.
4. ROOT PRUNING REQUIRED FOR CONSTRUCTION PURPOSES SHALL RECEIVE THE PRIOR APPROVAL OF, AND BE SUPERVISED BY, THE PROJECT ARBORIST.
5. GRADING AND CONSTRUCTION WITHIN THE TPZ SHALL BE APPROVED AND MONITORED BY THE PROJECT ARBORIST.
6. DO NOT PARK VEHICLES OR HEAVY EQUIPMENT WITHIN THE TPZ.
7. IF INJURY SHOULD OCCUR TO A TREE DURING CONSTRUCTION, IT SHOULD BE EVALUATED AS SOON AS POSSIBLE BY THE PROJECT ARBORIST SO THAT APPROPRIATE TREATMENTS CAN BE APPLIED.
8. INSURE ADEQUATE SOIL MOISTURE IN THE AREA OF ACTIVE ROOTS. PROPER IRRIGATION OR APPLICATIONS OF WATER MAY BE NEEDED FOR TREES THAT ARE AT RISK AS DETERMINED BY PROJECT ARBORIST.
9. DO NOT DUMP OR STORE EXCESS SOIL, CHEMICALS, DEBRIS, EQUIPMENT OR OTHER MATERIALS WITHIN THE TPZ OR APZ.
10. TREE PRUNING NEEDED FOR CLEARANCE DURING CONSTRUCTION MUST BE PERFORMED BY A CERTIFIED ARBORIST AND NOT BY CONSTRUCTION PERSONNEL. PRUNING TO BE APPROVED BY CITY ARBORIST.
11. COORDINATE WITH PRIME AND CIVIL - VERIFY IF YOU NEED TO ADD A NOTE ABOUT REMOVING ANY VACANT UTILITY VAULTS, ETC.





**MATERIALS & LAYOUT LEGEND**

- CONCRETE PAVING WITH BROOM FINISH
- SCORE LINE OR EXP JOINT AS SHOWN
- ARTIFICIAL TURF
- PLAY SAND
- WOOD MULCH - 3" LAYER WITH CARDBOARD SHEET MULCH, NO PLANTING AMENDMENTS
- RUBBER SAFETY SURFACING
- PLANTING AREA, SEE PLANTING PLAN
- BIOFILTRATION PLANTING AREA, SEE CIVIL PLANS FOR SOIL MIX AND DRAINAGE SYSTEM
- DECOMPOSED GRANITE PAVING

- 6' TALL ORNAMENTAL STEEL PICKET FENCE
- 4' TALL WIRE FENCE
- 5' TALL WIRE MESH FENCE
- 1' TALL WOOD FENCE
- 6' TALL WOOD FENCE
- SCORE JOINT
- EXPANSION JOINT
- O.P.O.I. OWNER PROVIDED, OWNER INSTALLED
- O.P.C.I. OWNER PROVIDED, CONTRACTOR INSTALLED

- EXISTING TREE TO BE PRESERVED, SEE ARBORIST REPORT FOR TREE SPECIES AND TREE PRESERVATION MEASURES
- EQ EQUAL
- O.C. ON CENTER
- TYP. TYPICAL

**MATERIALS & LAYOUT NOTES**

1. EXISTING SITE INFORMATION PROVIDED ON SURVEY PLAN. LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY OR LIABILITY FOR COMPLETENESS OR ACCURACY OF PLANS PROVIDED BY OTHERS.
3. "TYP" OR TYPICAL MEANS THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY NOTED "TYP" ONLY ONCE WHEN THEY FIRST OCCUR.
4. NOTES AND SYMBOLS ON ONE DRAWING APPLY TO OTHER SIMILAR DETAILS AND CONDITIONS.
5. BECOME ACQUAINTED WITH SUBGRADE UTILITIES, PIPES AND STRUCTURES. SHOULD UTILITIES OR OTHER WORK NOT SHOWN ON THE PLANS BE FOUND DURING EXCAVATIONS, PROMPTLY NOTIFY OWNER'S REPRESENTATIVE. FAILURE TO DO SO WILL MAKE CONTRACTOR LIABLE FOR DAMAGE ARISING FROM HIS OPERATIONS SUBSEQUENT TO DISCOVERY OF SUCH UTILITIES NOT SHOWN ON PLANS.
7. DIMENSIONS ARE FROM OUTSIDE FACE OF BUILDING OR WALLS & CURBS, UNLESS OTHERWISE NOTED, AND ARE TO BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION AND MAJOR EXCAVATION. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING.
8. UNLESS OTHERWISE NOTED, ANGLES TO BE RIGHT ANGLES, ARCS WHICH APPEAR TANGENT AND UNIFORM ARE TO BE TANGENT AND UNIFORM. LINES WHICH APPEAR PARALLEL ARE TO BE PARALLEL, AND ITEMS WHICH APPEAR CENTERED TO BE CENTERED, MAINTAIN LINES TRUE, LEVEL, PLUMB, AND SQUARE.
9. REFER TO GRADING PLANS FOR GRADING AND DRAINAGE STRUCTURES PRIOR TO INSTALLATION OF WALKS, WALLS, FOOTINGS, AND OTHER STRUCTURES.
10. LANDSCAPE ARCHITECT TO APPROVE LAYOUT IN THE FIELD PRIOR TO CONSTRUCTION. AT TIME OF FIRST SITE VISIT AND BEFORE ANY MAJOR EXCAVATION, THE GENERAL LAYOUT OF SITE ELEMENTS SHOULD BE CONFIRMED. IN A SEPARATE SITE VISIT, LANDSCAPE ARCHITECT TO CONFIRM LAYOUT OF FORMS.
11. VERIFY THAT CONDUITS AND SLEEVES ARE PLACED PRIOR TO POURING CONCRETE PAVING.
12. LOCATE ELECTRICAL JUNCTION BOXES FOR LIGHTS IN PLANTING AREAS UNLESS SHOWN OTHERWISE. LAYOUT TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO TRENCHING.
13. CAREFULLY REVIEW LANDSCAPE IRRIGATION PLANS AND NOTES TO IDENTIFY LOCATIONS WHERE PIPE, SLEEVES, SANDBEDS OR CONDUIT MUST BE PLACED PRIOR TO PLACEMENT OF FORMWORK FOR INSTALLATION OF CONCRETE, OTHER PAVING, OR WALLS. COORDINATE WITH OTHER TRADES TO INSTALL IRRIGATION PIPE, SLEEVES, SANDBEDS, OR CONDUIT. SHOULD CONFLICTS ARISE REVIEW WITH OWNER'S REPRESENTATIVE FOR RESOLUTION.
14. QUANTITIES PROVIDED ARE FOR INFORMATION ONLY, VERIFY QUANTITIES AND NOTIFY OWNER OF DISCREPANCIES.
15. LAYOUT TO BE PROVIDED BY LICENSED SURVEYOR.
16. PROVIDE SCORE JOINTS IN CONCRETE AT RIGHT ANGLES TO THE PAVING AS STATED BELOW, EXCEPT WHERE SHOWN DIFFERENTLY IN THE PLAN VIEW:

PATH WIDTH	SCORE JOINT SPACING	EXPANSION JOINT SPACING
4'	4' O.C.	16' O.C.
5'	5' O.C.	20' O.C.
6' OR GREATER	12' O.C.	24' O.C.

**THE EPISCOPAL CHURCH OF ST. MATTHEW & ST. MATTHEW'S EPISCOPAL DAY SCHOOL MASTER PLAN**

One South El Camino Real  
San Mateo, California 94401

**PROJECT A:**  
Charles House Site  
PHASE I  
&  
**PROJECT B:**  
St. Matthew's Church Site  
PHASES II & III

**PLANNING DEPARTMENT SUBMITTAL**  
OCTOBER 10, 2012



**PGA design INC**  
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LANDSCAPE MATERIAL PLAN

**A-L2-1**



1" = 10'-0"

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OF ST. MATTHEW  
&  
ST. MATTHEW'S EPISCOPAL  
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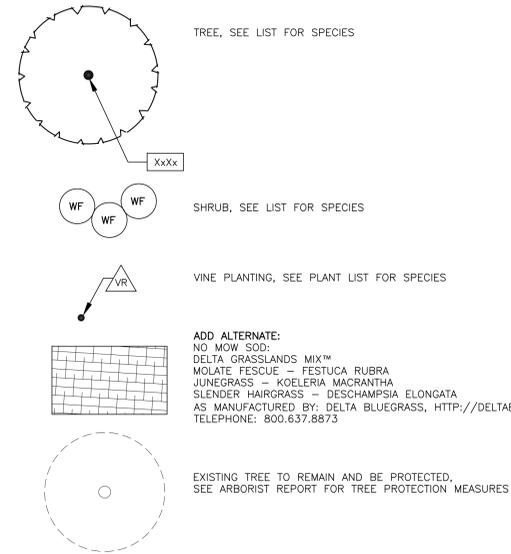


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PLANTING  
PLAN

**PLANTING LEGEND**



**PLANTING NOTES**

1. VERIFY LOCATION OF SUBSURFACE UTILITIES, PIPES AND STRUCTURES, SHOULD UTILITIES OR OTHER WORK NOT SHOWN ON THE PLANS BE FOUND DURING EXCAVATIONS, PROMPTLY NOTIFY OWNER'S REPRESENTATIVE, FAILURE TO DO SO WILL MAKE CONTRACTOR LIABLE FOR DAMAGE ARISING FROM HIS OPERATIONS SUBSEQUENT TO DISCOVERY OF UTILITIES NOT SHOWN ON PLANS.
2. LANDSCAPE CONTRACTOR TO RECEIVE SITE GRADED TO PLUS OR MINUS 0.10 FT PRIOR TO PROJECT EXECUTION.
3. NO PLANT SPECIES SUBSTITUTIONS WILL BE ACCEPTED. CONTRACT GROW PLANTS AS REQUIRED. CONTRACT GROWN PLANTS MUST MEET INDUSTRY STANDARDS FOR SIZE IN ORDER TO BE ACCEPTED.
4. ALL PLANTS AND LAYOUT TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO EXCAVATION OF PLANTING HOLES.
5. NOTIFY OWNER'S REPRESENTATIVE 36 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION MEETINGS.
6. PROTECT EXISTING TREES TO REMAIN PER ARBORIST REPORT AND TREE REMOVAL PLAN.
7. PLANT COUNT IS FOR INFORMATIONAL PURPOSES ONLY, PLANT SYMBOLS DRAWN AND NOTED ON PLAN TAKE PRESCIENCE, CONTRACTOR TO VERIFY QUANTITY.

**ALLERGENIC, TOXIC & INVASIVE PLANT STATEMENT**

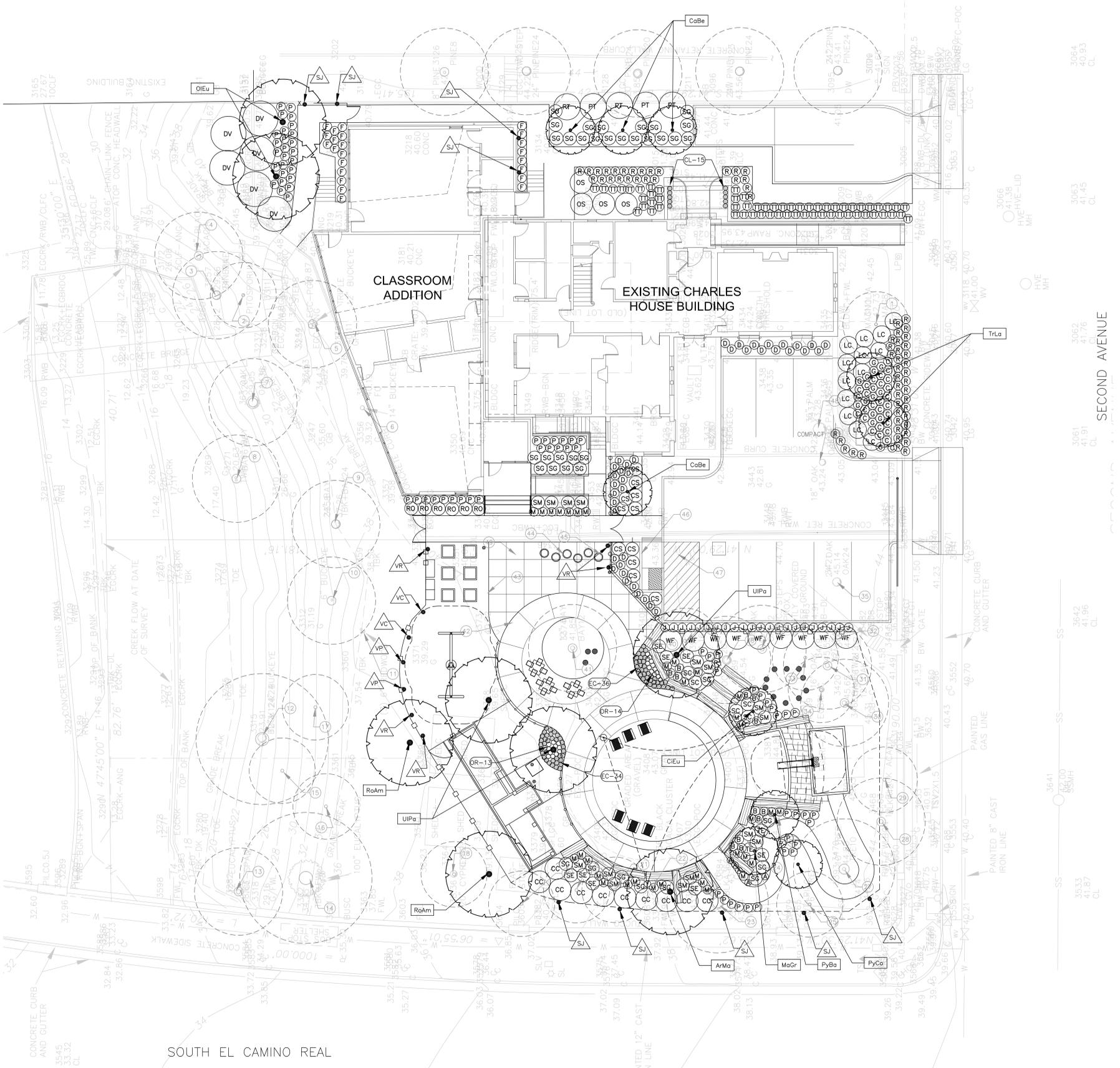
THIS CERTIFIES THAT NO PLANTS SPECIFIED ON THE LANDSCAPE PLANS ARE KNOWN AS AN ALLERGENIC, TOXIC, OR INVASIVE PLANT SPECIES. NO PLANTS WHICH ARE CITED AS AN ALLERGENIC, TOXIC, OR INVASIVE PLANT SPECIES SHALL BE INSTALLED ON SITE, PER THE FOLLOWING SOURCES:

- A) WWW.POLLENLIBRARY.COM: LIST OF "SIGNIFICANT ALLERGENS" PLANTS BY SEASON FOR CALIFORNIA, SAN MATEO COUNTY.  
B) HTTP://WWW.IPM.UCDAVIS.EDU: LIST OF INVASIVE PLANTS.  
C) HTTP://WEBECOIST.COM/2009/09/16/16-most-unassuming-yet-lethal-killer-plants/: LIST OF THE TOP 16 MOST TOXIC PLANTS.

**REFERENCES**

THIRD PARTY REFERENCES FOR WATER USE CLASSIFICATIONS THAT MEETS THE BAY FRIENDLY LANDSCAPE CLASSIFICATION FOR DROUGHT TOLERANT PLANTS:  
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EBMUD: "PLANTS AND LANDSCAPES FOR SUMMER-DRY CLIMATES OF THE SAN FRANCISCO BAY REGION" BY EBMUD – LOW OR OCCASIONAL OR MODERATE WATER, PLANTS THAT ARE OCCASIONAL TO MODERATE WATER MAY QUALIFY IF THEY ARE IN THE APPROPRIATE CLIMATE AND EXPOSURE.  
SUNSET: "SUNSET WESTERN GARDEN BOOK" – OCCASIONAL, MODERATE, OR REGULAR WATER  
WUCOLS: WATER USE CLASSIFICATION OF LANDSCAPE SPECIES – LOW OR VERY LOW WATER  
MONTEREY NURSERY: "MONTEREY NURSERY" – LOW WATER  
SAN MARCOS: "SAN MARCOS GROWERS" – LOW WATER

THIRD PARTY REFERENCES FOR SPREAD OF PLANTS:  
ONP: "CALIFORNIA NATIVE PLANTS FOR THE GARDEN" BY BORNSTEIN, FROSS & O'BRIEN  
EBMUD: "PLANTS AND LANDSCAPES FOR SUMMER-DRY CLIMATES OF THE SAN FRANCISCO BAY REGION" BY EBMUD.  
DIG DOG: DIGGING DOG NURSERY, WWW.DIGGINGDOG.COM  
MONT: MONTEREY BAY NURSERY, HTTP://MONTEREYBAYNSY.COM  
SUNSET: "SUNSET WESTERN GARDEN BOOK"



**A-L3-1**

1" = 10'-0"

**THE EPISCOPAL CHURCH  
OF ST. MATTHEW  
&  
ST. MATTHEW'S EPISCOPAL  
DAY SCHOOL MASTER PLAN**

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**PLANNING  
DEPARTMENT  
SUBMITTAL**  
OCTOBER 10, 2012



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**TREE LIST**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	DEER RESISTANT	COMMENTS
ArMa	1	ARBUTUS X 'MARINA'	ARBUTUS	24" BOX	LOW	X	MULTI-STEM
CaBe	4	CARPINUS BETULUS 'FASTIGIATA'	PYRAMIDAL EUROPEAN HORNBEAM	24" BOX	MOD	X	STANDARD
OIEu	2	OLEA EUROPEA 'SWAN HILL'	OLIVE	24" BOX	VERY LOW	X	MULTI-STEM
RoAm	2	ROBINIA X AMBIGUA 'PURPLE ROBE'	PINK FLOWERING LOCUST	24" BOX	LOW	X	STANDARD
TrLa	2	TRISTANIA LAURINA 'ELEGANT'	WATER GUM	24" BOX	MOD	X	STANDARD
UIPa	2	ULMUS PARVIFOLIA	CHINESE EVERGREEN ELEM	24" BOX	MOD	X	STANDARD

**FRUIT TREES**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	DEER RESISTANT	COMMENTS
CIeu	1	CITRUS 'EUREKA'	LEMON	24" BOX	MOD	X	STANDARD, WATER USE IS FOR SPECIAL LANDSCAPE USE; EDIBLE PLANTING
MaGr	1	MALUS 'GRAVENSTEIN'	APPLE	15 GAL	MOD		STANDARD, WATER USE IS FOR SPECIAL LANDSCAPE USE; EDIBLE PLANTING
PyBa	1	PYRUS COMMUNIS 'BARTLETT'	PEAR	15 GAL	MOD	X	STANDARD, WATER USE IS FOR SPECIAL LANDSCAPE USE; EDIBLE PLANTING
PyCo	1	PYRUS COMMUNIS 'COMICE'	PEAR	15 GAL	MOD	X	STANDARD, WATER USE IS FOR SPECIAL LANDSCAPE USE; EDIBLE PLANTING

**VINE PLANT LIST**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	DEER RESISTANT	COMMENTS
SJ	9	SOLANUM JASMINOIDES	POTATO VINE	1 GAL.	MOD	X	WATER USE IS FOR SPECIAL LANDSCAPE AREA; EDIBLE PLANTING
VR	3	VITIS CALIFORNICA 'ROGERS RED'	CALIFORNIA GRAPE	1 GAL.		X	WATER USE IS FOR SPECIAL LANDSCAPE AREA; EDIBLE PLANTING
VC	2	VITUS 'CRIMSON SEEDLESS'	GRAPE	1 GAL.		X	WATER USE IS FOR SPECIAL LANDSCAPE AREA; EDIBLE PLANTING
VP	2	VITUS 'PERLETTE'	GRAPE	1 GAL.		X	WATER USE IS FOR SPECIAL LANDSCAPE AREA; EDIBLE PLANTING

**SHRUBS, GRASSES AND PERENNIALS PLANT LIST**

ABBREV	QTY	BOTANICAL NAME	COMMON NAME	SPACING OR AS SHOWN	SIZE	WATER USE	DEER RESISTANT	COMMENTS
A	5	ACHILLEA AGERATUM 'MOONWALKER'	COMMON YARROW	2' O.C.	1 GAL.	LOW	X	
B	12	ANIGOZANTHOS 'BUSH EMBER'	KANGAROO PAW	2' O.C.	1 GAL.	LOW	X	REDISH ORANGE FLOWERS
F	23	BLECHRUM SPICANT	DEER FERN	2' O.C.	1 GAL.	LOW	X	
M	33	CALAMAGROSTIS X ACUTIFLORA 'KARL FORESTER'	REED GRASS	2' O.C.	1 GAL.	LOW	X	
C	27	CAREX PRAEGRACILIS	FIELD SEDGE	2' O.C.	1 GAL.	MOD	X	
CC	10	CARPENTERIA CALIFORNICA 'ELIZABETH'		5' O.C.	1 GAL.	LOW	X	
CS	11	CISTUS 'SUNSET'	ROCKROSE	3' O.C.	1 GAL.	LOW	X	3' HT, MAGENTA FLOWERS
CL	10	CLIVIA 'LITTLE CHARM'	LADY CLIVE LILY	18" O.C.	1 GAL.	MOD		
G	14	DICTYIS GRANDIFLORA 'VARIEGATA'	FORTNIGHT LILY	2' O.C.	1 GAL.	LOW	X	
DV	6	DODENEA VISCOSA 'PURPUREA'	PURPLE HOPSEED BUSH	8' O.C.	5 GAL.	LOW	X	
EC	70	ECHVEVERIA 'FANCY RUFFLES'	HENS & CHICKS	12" O.C.	4" CONT	LOW	X	
R	64	ERIGERON GLAUJUS 'BOUNTIFUL'	BEACH ASTER	2' O.C.	1 GAL.	LOW	X	
LC	13	LOROPETALUM CHINENSIS	LOROPETALUM	4' O.C.	1 GAL.	LOW	X	GREEN LEAVES AND WHITE FLOWERS
D	39	PHORMIUM 'CREAM DELIGHT'	NEW ZEALAND FLAX	2' O.C.	1 GAL.	LOW	X	3' HT, PALE CREAMY LEAVES
J	22	PHORMIUM 'JACK SPRATT'	NEW ZEALAND FLAX	2' O.C.	1 GAL.	LOW	X	18" HT, BRONZE FOLIAGE
TT	60	PHORMIUM 'TONY TIGER'	NEW ZEALAND FLAX	2' O.C.	1 GAL.	LOW	X	
PT	5	PITTIOSPORUM TENUIFOLIUM 'MARJORIE CHANNON'	PITTIOSPORUM	6' O.C.	5 GAL.	OCC	X	LIGHT GREEN LEAVES EDGED IN WHITE
P	74	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	2' O.C.	1 GAL.	INF	X	
OR	26	ORIGANUM VULGARE 'COMPACTA NANA'	OREGANO	12" O.C.	4" CONT.	OCC	X	
OS	4	OSMANTHUS HETEROPHYLLUS 'GOSHIKI'	OSMANTHUS	5' O.C.	5 GAL.	MOD	X	
RO	6	ROSMARINUS OFFICINALIS 'BENENDEN BLUE'	ROSEMARY	3' O.C.	1 GAL.	LOW	X	
SG	36	SALVIA MICROPHYLLA GRAHAMII 'BEZERKELEY'	BEZERKELEY SALVIA	3' O.C.	1 GAL.	LOW	X	
SE	8	SALVIA ELEGANS	PINEAPPLE SAGE	3' O.C.	1 GAL.	OCC	X	
SC	6	SALVIA CLEVELANDII	SAGE	3' O.C.	1 GAL.	LOW	X	
SM	15	SALVIA MACROPHYLLA 'UPRIGHT FORM'	BLUE SAGE	3' O.C.	1 GAL.	LOW	X	
TE	2	TAGETES ERECTA 'CEMPOALXOCHITL'	ANCIENT MARIGOLD	3' O.C.	1 GAL.	OCC	X	
WF	9	WESTRINGIA FRUTICOSA 'WYNYABBIE GEM'	WESTRINGIA	5' O.C.	1 GAL.	LOW	X	

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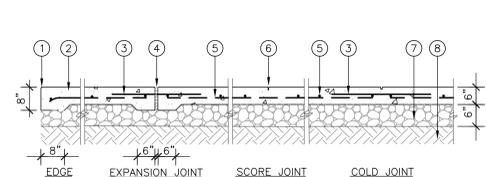
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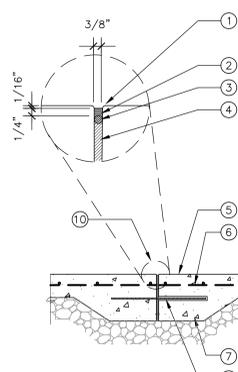


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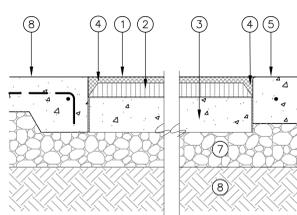


- 1 1/2" R AT EDGES, 1/8" R AT ALL JOINTS
- 2 CONCRETE PAVEMENT, MEDIUM SANDBLAST FINISH
- 3 DOWEL, SEE (2)
- 4 EXPANSION JOINT, SEE (2)
- 5 #4 REBAR, EACH WAY, 18" O.C., KEEP 3" CLEAR FROM EDGES AND EXPANSION JOINTS
- 6 SCORE JOINTS, LOCATIONS AS SHOWN ON PLANS, SEE (2)
- 7 COMPACTED AGGREGATE BASE, CLASS II, 95%
- 8 COMPACTED SUBGRADE, 95%



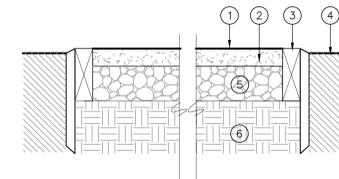
- 1 1/4" RADIUS, TYP.
- 2 TOOLED SEALANT
- 3 BACKER ROD WITH BOND BREAKER
- 4 EXPANSION JOINT FILLER
- 5 FINISH GRADE OF CONCRETE PAVEMENT
- 6 CONCRETE PAVEMENT, SEE DETAIL FOR DEPTH AND REINFORCEMENT
- 7 THICKENED CONCRETE PAVEMENT AT EXPANSION JOINT ON GRADE
- 8 #4 SMOOTH DOWEL, 18" LONG, 24" O.C.
- 9 SCORE JOINT: SAWCUT 1" DEEP, 1/4" WIDTH
- 10 EXPANSION JOINT

NOTES:  
1. INSTALL EXPANSION JOINT BETWEEN CONCRETE PAVING AT BUILDING, WALLS, CONCRETE BAND, CONCRETE MOWBAND, CONCRETE CURB, AND AS SHOWN ON THE PLANS. NO EXPANSION JOINTS AT PERVIOUS CONCRETE PAVING.  
2. EXPANSION JOINT FILLER TO MATCH COLOR OF PAVING.



- 1 RESILIENT RUBBER SAFETY SURFACING WEAR COURSE, 1/2" THICK
- 2 BASE COURSE OF RESILIENT RUBBER SAFETY SURFACING, SEE NOTES FOR THICKNESS
- 3 4" THICK PERVIOUS CONCRETE BASE
- 4 EXTEND WEAR COURSE AT EDGES TO FULL DEPTH OF RUBBER SURFACING
- 5 CONCRETE BAND, SEE (X)
- 6 BASE, S.C.D. FOR DEPTH AND COMPACTION
- 7 COMPACTED SUBGRADE, 95%
- 8 ADJACENT CONCRETE PAVING WITH THICKENED EDGE

NOTES:  
1. TOTAL DEPTH OF WEAR AND BASE COURSE IS ESTIMATED TO BE 4" FOR COST PURPOSES ONLY. CONTRACTOR TO CONFIRM MAXIMUM FALL HEIGHT OF PLAY EQUIPMENT AND TO PROVIDE DEPTH OF RUBBER SAFETY SURFACING TO COMPLY WITH ASTM 1292-99 IMPACT ATTENUATION OF SURFACE SYSTEMS UNDER AND AROUND PLAY EQUIPMENT AND CALIFORNIA TITLE 22.



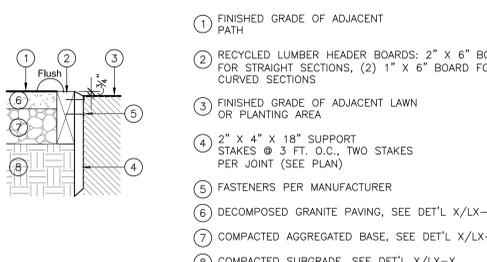
- 1 FINISH PAVING SURFACE WITH SEALANT COAT. PITCH TO DRAIN.
- 2 2" THICK DECOMPOSED GRANITE FINES WITH STABILIZER
- 3 2" X 6" HEADER BOARD, SEE DET'L 5L4-1
- 4 ADJACENT PLANTING AREA
- 5 COMPACTED AGGREGATE BASE, 95%, 4" THICK AT PEDESTRIAN AREAS, 8" THICK AT VEHICULAR AREAS
- 6 COMPACTED SUBGRADE, 95%

**1 INTEGRAL COLORED CONCRETE PAVING**  
L4-1 SCALE: 1/2"=1'-0"

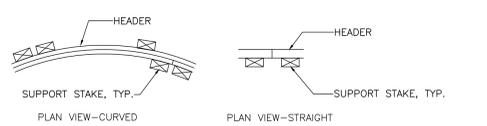
**2 CONCRETE JOINTS & FINISH**  
L4-1 SCALE: 1"=1'-0"

**3 RESILIENT RUBBER SAFETY SURFACING**  
L4-1 SCALE: 1"=1'-0"

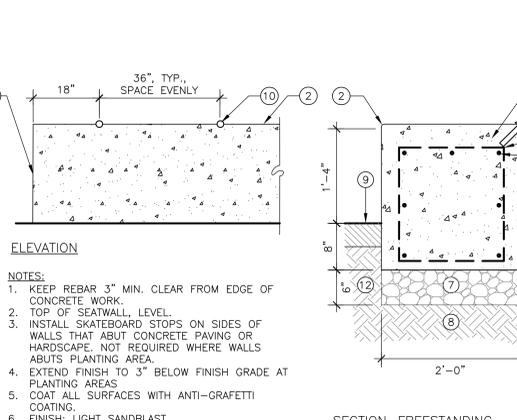
**4 DECOMPOSED GRANITE PAVING**  
L4-1 SCALE: 1-1/2"=1'-0"



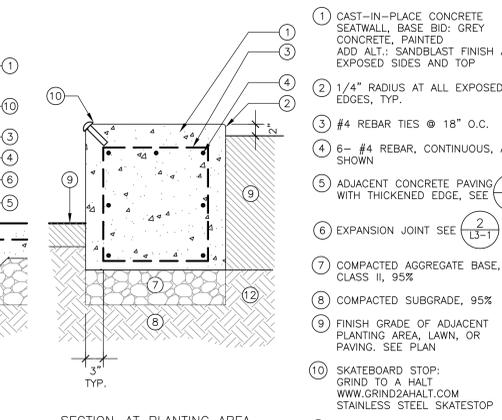
- 1 FINISHED GRADE OF ADJACENT PATH
- 2 RECYCLED LUMBER HEADER BOARDS: 2" X 6" BOARD FOR STRAIGHT SECTIONS, (2) 1" X 6" BOARD FOR CURVED SECTIONS
- 3 FINISHED GRADE OF ADJACENT LAWN OR PLANTING AREA
- 4 2" X 4" X 18" SUPPORT STAKES @ 3 FT. O.C., TWO STAKES PER JOINT (SEE PLAN)
- 5 FASTENERS PER MANUFACTURER
- 6 DECOMPOSED GRANITE PAVING, SEE DET'L X/LX-X
- 7 COMPACTED AGGREGATED BASE, SEE DET'L X/LX-X
- 8 COMPACTED SUBGRADE, SEE DET'L X/LX-X



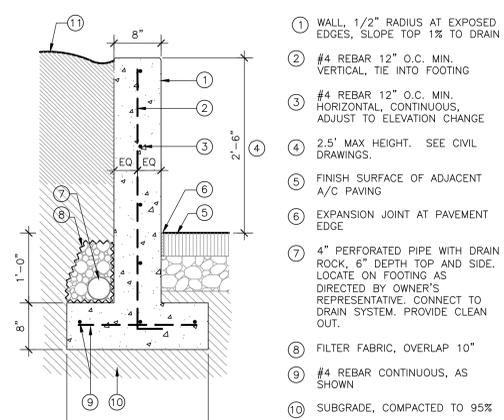
NOTES:  
1. USE GALVANIZED DECK SCREWS, 2 PER SUPPORT STAKE  
2. USE 8D GALVANIZED COMMON NAILS, AT SPLICES.



- ELEVATION
- NOTES:  
1. KEEP REBAR 3" MIN. CLEAR FROM EDGE OF CONCRETE WORK.  
2. TOP OF SEATWALL LEVEL.  
3. INSTALL SKATEBOARD STOPS ON SIDES OF WALLS THAT ABUT CONCRETE PAVING OR HARDSCAPE. NOT REQUIRED WHERE WALLS ABUTS PLANTING AREA.  
4. EXTEND FINISH TO 3" BELOW FINISH GRADE AT PLANTING AREAS  
5. COAT ALL SURFACES WITH ANTI-GRAFFITI COATING.  
6. FINISH: LIGHT SANDBLAST.



- 1 CAST-IN-PLACE CONCRETE SEATWALL, BASE BID: GREY CONCRETE, PAINTED. ADD ALT.: SANDBLAST FINISH ALL EXPOSED SIDES AND TOP
- 2 1/4" RADIUS AT ALL EXPOSED EDGES, TYP.
- 3 #4 REBAR TIES @ 18" O.C.
- 4 6- #4 REBAR, CONTINUOUS, AS SHOWN
- 5 ADJACENT CONCRETE PAVING WITH THICKENED EDGE, SEE (1) (3-1)
- 6 EXPANSION JOINT SEE (2) (3-1)
- 7 COMPACTED AGGREGATE BASE, CLASS II, 95%
- 8 COMPACTED SUBGRADE, 95%
- 9 FINISH GRADE OF ADJACENT PLANTING AREA, LAWN, OR PAVING. SEE PLAN
- 10 SKATEBOARD STOP: GRIND TO A HALT WWW.GRIND2HALT.COM STAINLESS STEEL SKATESTOP
- 11 END OF WALL
- 12 ADJACENT PLANTING AREA, DO NOT COMPACT SOIL

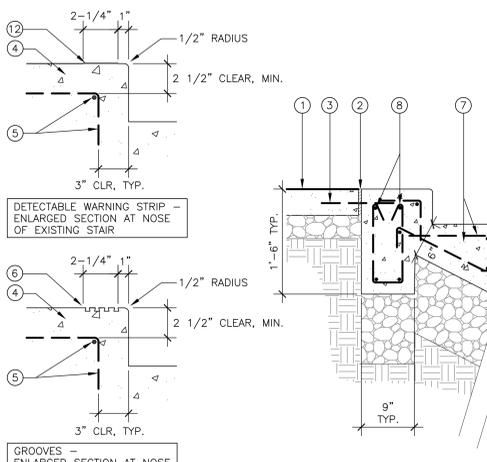


- 1 WALL, 1/2" RADIUS AT EXPOSED EDGES, SLOPE TOP 1% TO DRAIN
- 2 #4 REBAR 12" O.C. MIN. VERTICAL, TIE INTO FOOTING
- 3 #4 REBAR 12" O.C. MIN. HORIZONTAL, CONTINUOUS, ADJUST TO ELEVATION CHANGE
- 4 2.5' MAX HEIGHT. SEE CIVIL DRAWINGS.
- 5 FINISH SURFACE OF ADJACENT A/C PAVING
- 6 EXPANSION JOINT AT PAVEMENT EDGE
- 7 4" PERFORATED PIPE WITH DRAIN ROCK, 6" DEPTH TOP AND SIDE. LOCATE ON FOOTING AS DIRECTED BY OWNER'S REPRESENTATIVE. CONNECT TO DRAIN SYSTEM. PROVIDE CLEAN OUT.
- 8 FILTER FABRIC, OVERLAP 10"
- 9 #4 REBAR CONTINUOUS, AS SHOWN
- 10 SUBGRADE, COMPACTED TO 95%
- 11 FINISH GRADE OF ADJACENT PLANTING AREA.

**5 HEADER BOARD**  
L4-1 SCALE: 1-1/2"=1'-0"

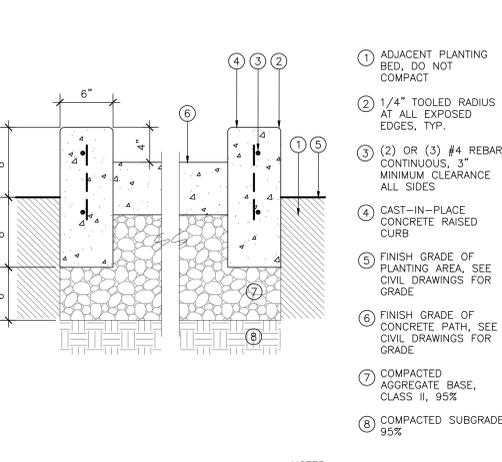
**6 SEATWALL**  
L4-1 SCALE: 1"=1'-0"

**7 8" CONCRETE RETAINING WALL**  
L4-1 SCALE: 1"=1'-0"



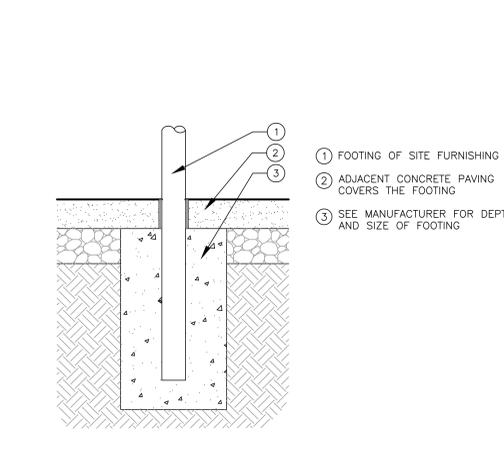
- 1 FINISH SURFACE OF ADJACENT PAVING
- 2 8" WIDE EXPANSION JOINT, TYP.
- 3 12" #4 DOWEL, GREASE ON ONE END, 18" O.C.
- 4 CONCRETE STAIR, SLOPE TREADS TO DRAIN MAX 1%.
- 5 #4 NOSE REBAR, 12" O.C., EACH WAY
- 6 1/4"x1/4" DEEP GROOVES - GROOVES STOP 2" FROM END OF STAIRS, BOTH SIDES. FILL GROOVES WITH CONC. AND LAMP BLACK AND SILICON CARBIDE - MIN. 70% DARKER THAN ADJACENT CONCRETE
- 7 #4 REBAR, 12" O.C., EACH WAY
- 8 2 - #4 REBAR, 12" O.C.
- 9 6" DEPTH COMPACTED AGGREGATE BASE, 95%
- 10 COMPACTED SUBGRADE, 95%
- 11 RISER HEIGHT VARIES - SEE GRADING PLAN
- 12 DETECTABLE WARNING STRIP; ADHERED BLACK GRIP

NOTES:  
1. FOR HANDRAIL SEE ARCHITECT'S DRAWINGS  
2. 2" MINIMUM CLEARANCE FROM EDGE OF CONCRETE FOR ALL REINFORCEMENT.



- 1 ADJACENT PLANTING BED, DO NOT COMPACT
- 2 1/4" TOOLED RADIUS AT ALL EXPOSED EDGES, TYP.
- 3 (2) OR (3) #4 REBAR, CONTINUOUS, 3" MINIMUM CLEARANCE ALL SIDES
- 4 CAST-IN-PLACE CONCRETE RAISED CURB
- 5 FINISH GRADE OF PLANTING AREA, SEE CIVIL DRAWINGS FOR GRADE
- 6 FINISH GRADE OF CONCRETE PATH, SEE CIVIL DRAWINGS FOR GRADE
- 7 COMPACTED AGGREGATE BASE, CLASS II, 95%
- 8 COMPACTED SUBGRADE, 95%

NOTES:  
1. TOP OF RAISED CURB TO BE LEVEL WITH ADJACENT PATHWAY.  
2. BROOM FINISH ALL EXPOSED SIDES



- 1 FOOTING OF SITE FURNISHING
- 2 ADJACENT CONCRETE PAVING COVERS THE FOOTING
- 3 SEE MANUFACTURER FOR DEPTH AND SIZE OF FOOTING

**8 CONCRETE STAIR**  
L4-1 SCALE: 1"=1'-0"

**9 RETAINING CURB**  
L4-1 SCALE: 1-1/2"=1'-0"

**10 TYPICAL SITE FURNISHING FOOTING**  
L4-1 SCALE: 1"=1'-0"

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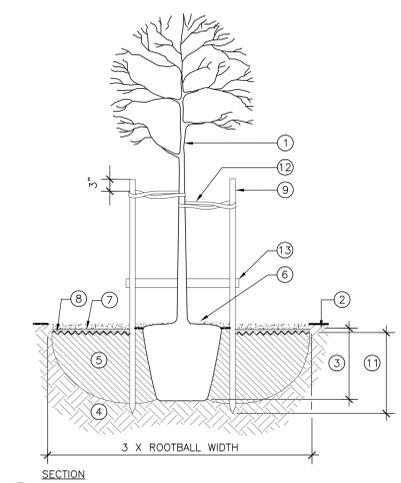
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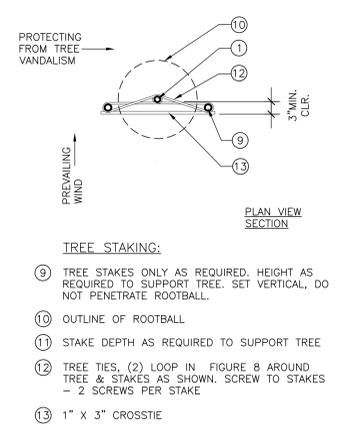
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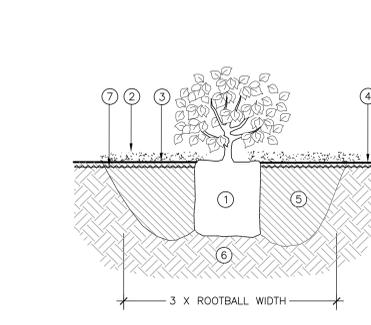


**1 TREE PLANTING & STAKING**  
L4-2 SCALE: 3/8"=1'-0"

- TREE PLANTING:**
- 1 TREE, SET PLUMB
  - 2 FINISH GRADE OR ADJACENT ASPHALT PAVING
  - 3 ROOTBALL SET 1" ABOVE FINISH GRADE, DEEPER BEYOND ROOTBALL AS SHOWN.
  - 4 AMENDED PLANTER MIX
  - 5 COMPOST AMENDED BACKFILL
  - 6 3" THICK MULCH, HOLD 2" FROM TRUNK
  - 7 1" LAYER OF COMPOST
  - 8 2 LAYERS OF CARDBOARD BENEATH COMPOST LAYER, KEEP CARDBOARD CLEAR OF ROOTCROWN

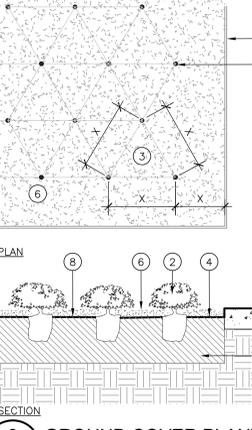


**2 SHRUB PLANTING**  
L4-2 SCALE: 3/4"=1'-0"



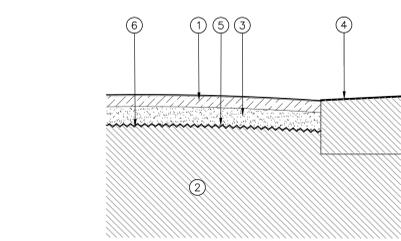
**3 GROUND COVER PLANTING**  
L4-2 SCALE: 3/4"=1'-0"

- TREE STAKING:**
- 9 TREE STAKES ONLY AS REQUIRED. HEIGHT AS REQUIRED TO SUPPORT TREE. SET VERTICAL, DO NOT PENETRATE ROOTBALL.
  - 10 OUTLINE OF ROOTBALL
  - 11 STAKE DEPTH AS REQUIRED TO SUPPORT TREE
  - 12 TREE TIES, (2) LOOP IN FIGURE 8 AROUND TREE & STAKES AS SHOWN. SCREW TO STAKES - 2 SCREWS PER STAKE
  - 13 1" X 3" CROSSTIE



- GROUND COVER PLANTING:**
- 1 ROOTBALL-SET 1" ABOVE FINISH GRADE
  - 2 3" THICK MULCH, TAPER TO PLANT
  - 3 1" THICK COMPOST LAYER
  - 4 FINISH GRADE
  - 5 COMPOST FOR BACKFILL
  - 6 SUBGRADE, SCARIFY SURFACE OF PLANTING PIT
  - 7 2 LAYERS OF CARDBOARD BENEATH COMPOST LAYER

**4 MULCH AT EDGE OF PLANTING AREA**  
L4-2 SCALE: 1-1/2"=1'-0"



- 1 2" THICK MULCH
- 2 SUBGRADE
- 3 1" THICK COMPOST
- 4 ADJACENT PAVEMENT
- 5 2 LAYERS OF CARDBOARD MULCH
- 6 LAYER OVER (E) TURF. NO EXCAVATION OF (E) TURF AT OAK TREES.

**4 MULCH AT EDGE OF PLANTING AREA**  
L4-2 SCALE: 1-1/2"=1'-0"

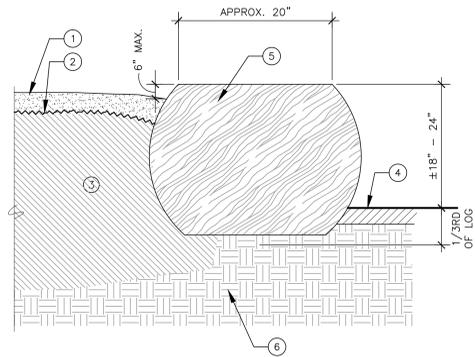
NOTES:  
1. INSTALL DRIP IRRIGATION ABOVE CARDBOARD.  
2. OVERLAP CARDBOARD PIECES - 12" MINIMUM.

NOTES:  
1. INSTALL DRIP IRRIGATION ABOVE CARDBOARD.  
2. OVERLAP CARDBOARD PIECES - 12" MINIMUM.



- NOTES:
1. RECLAIMED EUCALYPTUS LOG, APPROXIMATELY 6' LONG AS AVAILABLE FROM: GREEN WASTE RECYCLE YARD, RICHMOND, CA, (510) 527-8733 OR APPROVED EQUIVALENT.
  2. BARK REMOVED.
  3. CURVE CUT STRAIGHT ON TOP AND BOTTOM AS SHOWN.
  4. SHORE LOG AS REQUIRED, SET ON COMPACTED SUBGRADE.
  5. SEAT HEIGHT APPROXIMATELY 18" TO 24", SEAT WIDTH APPROXIMATELY 20".
  6. SUBMIT PHOTOS OF LOGS FOR FINAL APPROVAL, ARCHITECT TO APPROVE LOCATION IN FIELD.

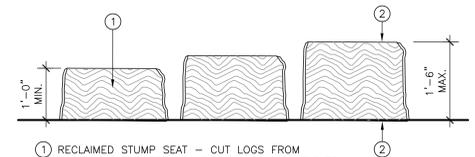
**1 WOODEN LOG AT RETAINING WALL**  
L4-3 SCALE: 1"=1'



- 1 3" THICK MULCH
- 2 2 LAYERS CARDBOARD MULCH
- 3 COMPOST AMENDED PLANTING MIX
- 4 FINISH GRADE OF ADJACENT CONCRETE PAVING
- 5 WOODEN LOG BENCH: SET LOG 3RD HEIGHT IN SUBGRADE, LEVEL AND NOT ROCKING, SEE WOODEN LOG BENCH DETAIL.
- 6 COMPACTED OR EXISTING SUBGRADE

- NOTES:
1. SET LOGS TIGHT UP AGAINST EACH OTHER SO SOIL STAYS IN.
  2. IF REQUIRED, PATCH VOIDS IN BETWEEN LOGS WITH FILTER FABRIC.
  3. SAND SMOOTH ALL BURRS AND SPLINTERS.
  4. APPLY 3 COATS OF FINISH.

**2 LOG RETAINING WALL**  
L4-3 SCALE: 1-1/2"=1'-0"



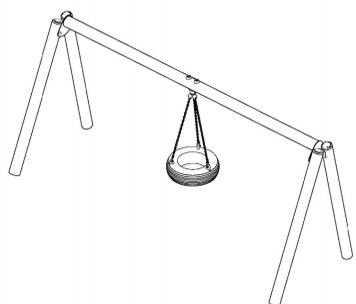
- 1 RECLAIMED STUMP SEAT - CUT LOGS FROM ON-SITE OAK TREES IN 12"-18" VARYING HEIGHTS, QUANTITY 20. SAW TOP AND BOTTOM LEVEL, SAND CUT EDGES AND SURFACES TO REMOVE BURRS AND SPLINTERS.
- 2 PAINT TOP AND BOTTOM CUT SURFACE OF SEATS WITH EXTERIOR GRADE PAINT, TAKING CARE NOT PAINT SIDES OF STUMPS. COLORS: APPLE GREEN, RED, AND TEAL BLUE IN APPROXIMATELY EQUAL NUMBERS.

**3 LOG SEATS**  
L4-3 SCALE: 3/4"=1'-0"



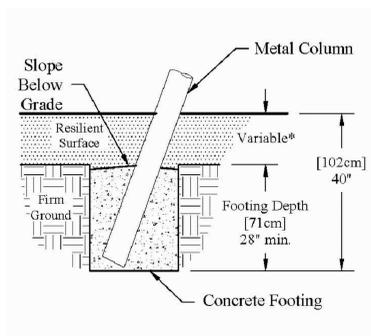
- NOTES:
1. WOOD HARVESTED FROM ON-SITE OAK TREES THAT ARE TO BE CUT DOWN.
  2. QUANTITY 20, THICKNESS 3".
  3. LOCATION TO BE DETERMINED IN FIELD BY LANDSCAPE ARCHITECT

**4 LOG STEP STONES**  
L4-3 SCALE: 3/4"=1'-0"

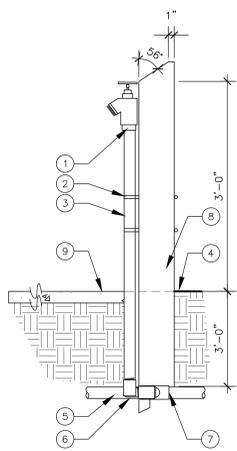


TIRE SWING - METAL  
MODEL # MBT-204  
AS MANUFACTURED BY BIG TOYS  
TELEPHONE: 866-614-8697  
WEBSITE: WWW.BIGTOYS.COM

**5 TIRE SWING AND SURFACING - ADD ALTERNATE**  
L4-3 SCALE: NOT TO SCALE



- NOTES:
1. INSTALL PER MANUFACTURER'S INSTALLATION REQUIREMENTS
  2. INSTALL OVER WOOD FIBER, DEPTH PER FALL HEIGHT REQUIREMENTS.



- 1 HOSE BIBB
- 2 HOSE BIBB CLAMPS BOLTED THROUGH THE POST
- 3 3/4" GALVANIZED NIPPLE
- 4 FINISH GRADE
- 5 MAIN LINE
- 6 3/4" SCH 40 PVC STREET ELL, 2 REQUIRED
- 7 PVC TEE OR ELL WITH 3/4" THREADED OUTLET
- 8 6" SQUARE UNFINISHED TUBULAR STEEL POST, WELDED STEEL CAP
- 9 2' SQ CONCRETE PAD IN UNPAVED AREAS

NOTE:  
PROVIDE SHOP DRAWINGS.

**6 HOSE BIBB**  
L4-3 SCALE: 1"=1'-0"

**THE EPISCOPAL CHURCH OF ST. MATTHEW & ST. MATTHEW'S EPISCOPAL DAY SCHOOL MASTER PLAN**

One South El Camino Real  
San Mateo, California 94401

**PROJECT A:**  
Charles House Site  
PHASE I  
&  
**PROJECT B:**  
St. Matthew's Church Site  
PHASES II & III

**PLANNING DEPARTMENT SUBMITTAL**  
OCTOBER 10, 2012



**PGA design** INC  
LANDSCAPE ARCHITECTS  
444 17th Street, Oakland, CA 94612  
T 510 465 1284  
F 510 465 1256



**THE EPISCOPAL CHURCH  
OF ST. MATTHEW  
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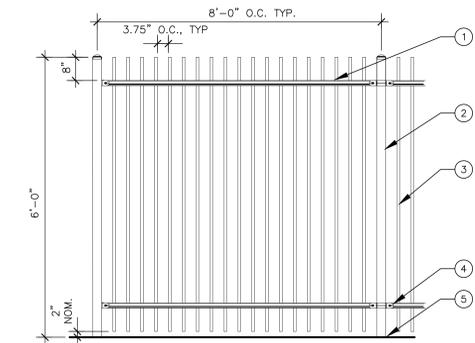
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DEPARTMENT  
SUBMITTAL**  
OCTOBER 10, 2012



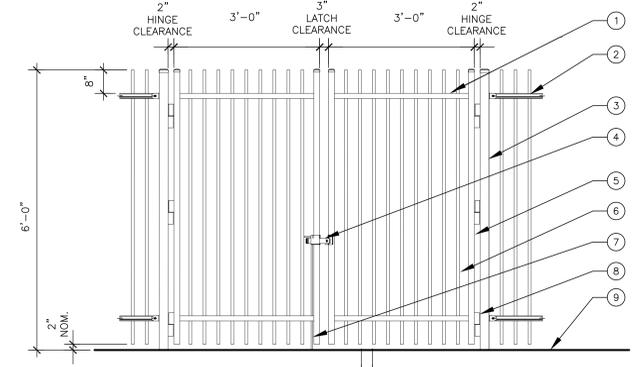
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LANDSCAPE DETAILS 1



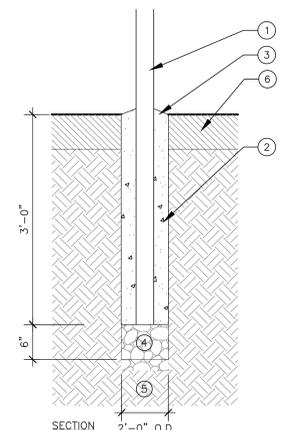
**1 6' ORNAMENTAL STEEL FENCE**  
L4-4 SCALE: 1/2"=1'-0"

NOTES:  
1. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND STRUCTURAL ENGINEER SIGNED DRAWINGS OF FENCE FOOTINGS.  
2. 1 3/4" TOP AND BOTTOM RAIL  
3. POST  
4. PICKET 1" X 14 GAUGE  
5. BRACKET



**2 6' ORNAMENTAL STEEL GATE**  
L4-4 SCALE: 1/2"=1'-0"

NOTES:  
1. 1 3/4" FORERUNNER RAIL  
2. 1 3/4" MONTAGE II RAIL  
3. POST SIZE VARIES WITH HEIGHT, SEE FOOTING DETAIL  
4. LATCH AND LOCK  
5. GATE UPRIGHT 2" X 11 GAUGE  
6. PICKET 1" X 14 GAUGE  
7. CANE BOLT  
8. HINGE

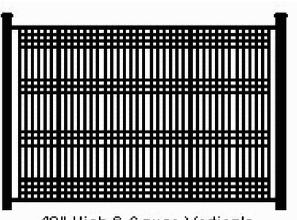


**3 FENCE FOOTING**  
L4-4 SCALE: 1"=1'-0"

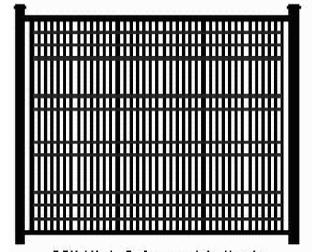
NOTES:  
1. FENCE POST, MATERIAL VARIES  
2. CONCRETE FOOTING  
3. SLOPE TOP OF FOOTING TO DRAIN AWAY FROM POST  
4. COMPACTED AGGREGATE BASE  
5. COMPACTED SUBGRADE, 95%  
6. ADJACENT PLANTED AREA



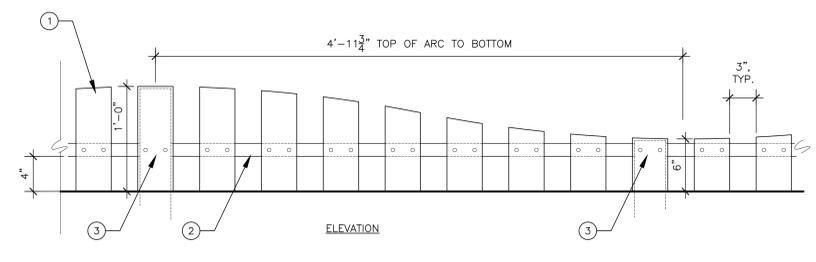
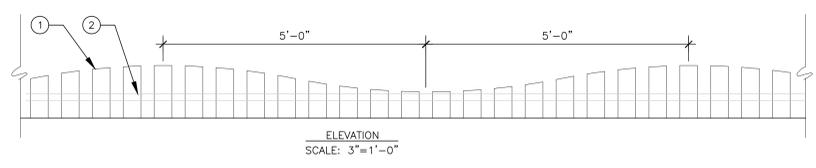
NOTES:  
1. JERITH PATRIOT ORNAMENTAL WIRE FENCE -- WWW.JERITH.COM  
2. 6 GAUGE, BLACK POWDER COAT STEEL  
3. 4' AND 6' HEIGHTS AS NOTED ON PLANS  
4. FOOTING PER MANUFACTURER'S RECOMMENDATIONS



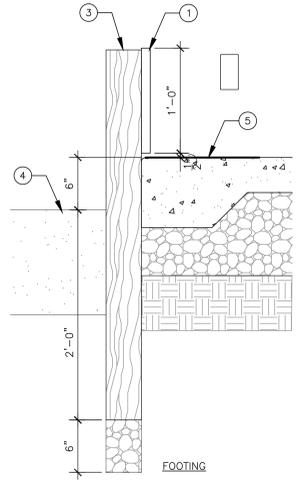
**4 4'-6" TALL WIRE MESH FENCE**  
L4-4 SCALE: NA



**60" High 6 Gauge Verticals**

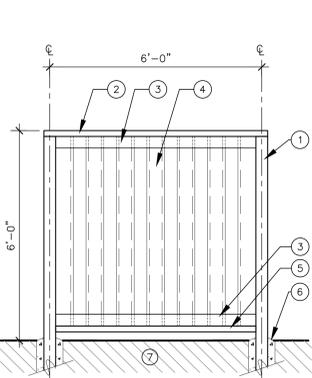


**5 1' TALL WOODEN FENCE AT TRICYCLE PATH**  
L4-4 SCALE: 1-1/2"=1'-0"



**1 1X4 WESTERN CEDAR PICKET - TRIM TOP EDGE AS SHOWN TO ACHIEVE SMOOTH CONTINUOUS CURVES**  
**2 2X4 WESTERN CEDAR INTERMEDIATE RAIL, ATTACH PICKETS WITH TWO STAINLESS STEEL SCREWS**  
**3 4X4 WESTERN CEDAR POST AT TOP AND BOTTOM OF ARC AND AT ENDS OF FENCE**  
**4 ADJACENT PLAY SAND AREA OR WOOD MULCH**  
**5 ADJACENT CONCRETE PATH**

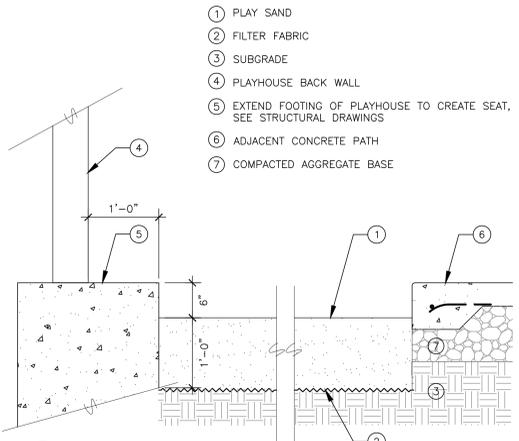
NOTES:  
1. REMOVE SPLINTERS AND BURRS FROM CUT BOARDS.  
2. PAINT FINISHED FENCE COMPONENTS, COLOR: DUNN EDWARDS LIMELIGHT, DE 5516 OPAQUE STAIN.



**6 WOOD FENCE**  
L4-4 SCALE: 1/2"=1'-0"

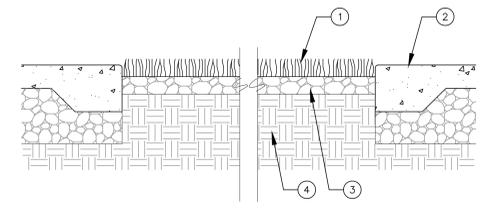
NOTES:  
1. STEPDOWN OF FENCE IS ALLOWED TO ACCOMMODATE GRADE. STEPDOWN LOCATIONS TO BE AGREED WITH OWNER'S REPRESENTATIVE IN THE FIELD.  
2. ALL FENCE MEMBERS ARE WESTERN RED CEDAR  
3. PROVIDE SHOP DRAWINGS

- 1 4" X 4" POST
- 2 2" X 6" TOPRAIL
- 3 1" X 4" FRAMING
- 4 1" X 6" PICKET
- 5 2" X 4" BOTTOM RAIL
- 6 FOOTING, SEE DET'L X/LX-X
- 7 UNAMENDED SITE SOIL



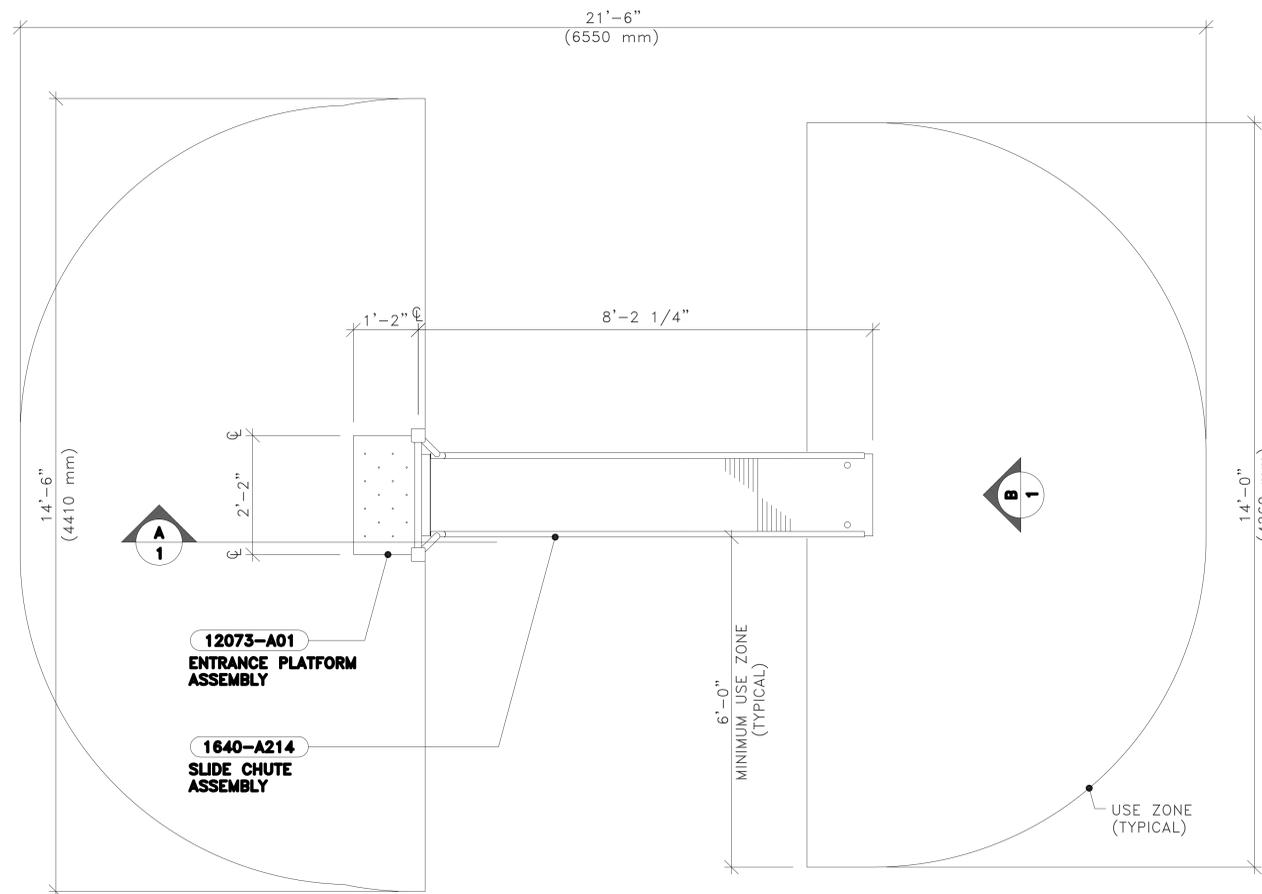
**7 PLAY SAND AREA**  
L4-4 SCALE: 1"=1'-0"

NOTES:  
1. PLAY SAND  
2. FILTER FABRIC  
3. SUBGRADE  
4. PLAYHOUSE BACK WALL  
5. EXTEND FOOTING OF PLAYHOUSE TO CREATE SEAT, SEE STRUCTURAL DRAWINGS  
6. ADJACENT CONCRETE PATH  
7. COMPACTED AGGREGATE BASE

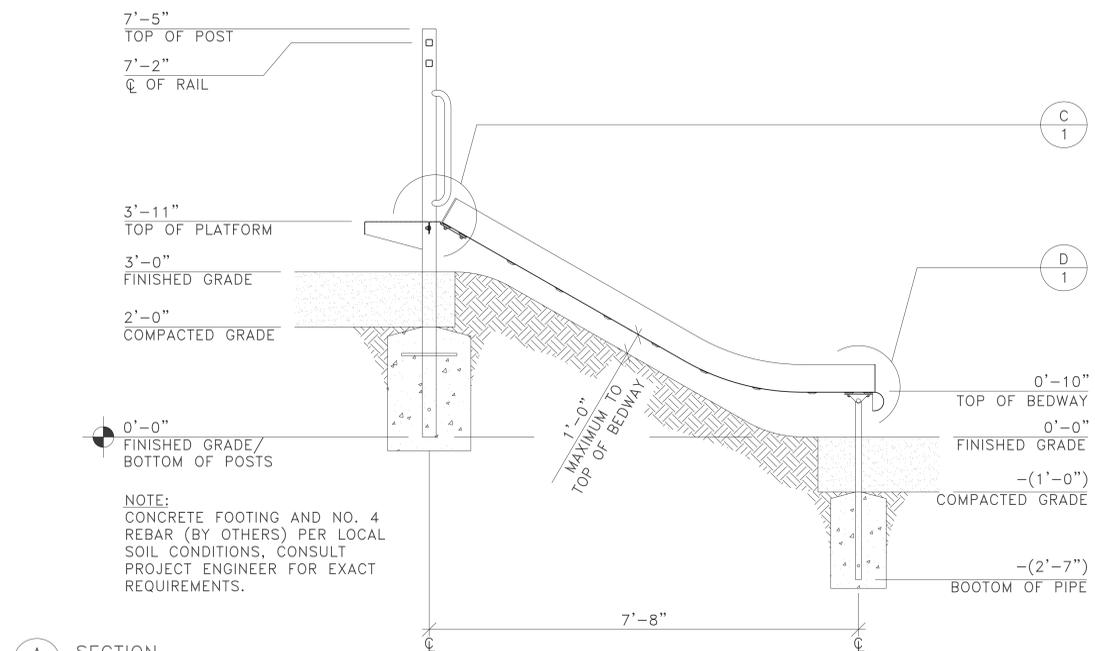


**8 ARTIFICIAL TURF**  
L4-4 SCALE: 1"=1'-0"

NOTES:  
1. EASY TURF BY FIELD TURF COMPANY, PRODUCT REP: RECREATION REPUBLIC, TELEPHONE: #888-843-6128, WEBSITE: RECREPUBLIC.COM  
2. PRODUCT NAME: SELECT BLEND, GF-APT-R-ZC, COLOR: FIELD GREEN/OLIVE GREEN  
3. INFILL WITH RUBBER PARTICLES AS PROVIDED AND RECOMMENDED BY MANUFACTURER  
4. SEE CIVIL PLANS FOR SUBDRAINAGE



PLAN SCALE: 1/2"=1'-0"



A 1 SECTION SCALE: 1/2"=1'-0"

INSTALLATION INSTRUCTIONS:

1. DETERMINE FOOTING LOCATIONS AND DIG HOLES REQUIRED.
2. INSTALL ENTRANCE PLATFORM ASSEMBLY PER DIMENSIONS SHOWN.
3. PRE-ASSEMBLE CONNECTION PLATE, EXIT CONNECTION BRACKET AND SUPPORT PIPES TO SLIDE ASSEMBLY PER DETAILS C/1 AND D/1.
4. BRACE ASSEMBLED SLIDE IN PLACE AND CONNECT TO ENTRANCE PLATFORM ASSEMBLY AS SHOWN IN DETAIL C/1.
5. CHECK TO SEE THAT ALL CONNECTIONS ARE FLUSH AND TIGHT AND THE SUPPORTS ARE BRACED SECURELY IN THE FOOTING HOLES, PER DIMENSIONS SHOWN. THEN POUR CONCRETE.
6. AFTER CONCRETE CURES, REMOVE BRACING AND BACK FILL FOOTING HOLES.

NOTE: KEEP CHILDREN OFF APPARATUS UNTIL THE ASSEMBLY IS COMPLETE AND THE CONCRETE IS CURED.

NOTE  
ADJUST PLATE TO ELIMINATE GAP BETWEEN SLIDE AND CONNECTION PLATE.

1640-H86  
CONNECTION PLATE

ENTRANCE PLATFORM

- 1 CONNECTION PLATE TO ENTRANCE PLATFORM
- 2 3/8" DIAMETER X 1" BUTTON HEAD HEX SOCKET CAP SCREW
- 8 7/16" I.D. CUT WASHER
- 2 3/8" LOCK NUT (USE 3 WASHERS ON NUT SIDE)

- 1 CONNECTION PLATE TO SLIDE
- 4 3/8" DIAMETER X 3/4" CARRIAGE BOLT
- 4 7/16" I.D. CUT WASHER
- 4 3/8" HEX NUT (INSERT BOLT HEAD IN SLOT, TRIM AND PEEN THREADS)

C 1 CONNECTION DETAIL SCALE: 3"=1'-0"

- 2 SUPPORT PIPE TO EXIT CONNECTION BRACKET
- 1 3/8" DIAMETER X 2 1/4" CARRIAGE BOLT
- 1 7/16" I.D. CUT WASHER
- 1 3/8" HEX NUT (TRIM AND PEEN THREADS)

1640-H48  
SUPPORT PIPE (TYPICAL-2)

1640-A104  
EXIT CONNECTION BRACKET

- EXIT CONNECTION BRACKET TO SLIDE
- 4 3/8" DIAMETER X 3/4" CARRIAGE BOLT
- 4 7/16" I.D. CUT WASHER
- 4 3/8" HEX NUT (INSERT BOLT HEAD IN SLOT, TRIM AND PEEN THREADS)

D 1 TYPICAL CONNECTION DETAIL SCALE: 3"=1'-0"

NOTE: DASHED LINES DEPICT SITE CONDITIONS PROVIDED BY OTHERS.

Information concerning site conditions depicted on this drawing have been provided by others. Columbia Cascade Company assumes no responsibility for its accuracy. The customer and/or owner must verify site conditions independently and not rely solely upon this drawing.

Date	Revision	By
06-01-12	REV. PLATFORM	DS/CL
Scale	Drawn by: DS	05-02-12
NOTED	Checked by: AT	05-02-12

**COLUMBIA CASCADE COMPANY**  
Makers of TimberForm®, PipeLine®, RePlay®, TimberForm®-2 and CycLoops® Products.  
1300 S.W. Sixth Avenue, Suite 310 Telephone 503/223-1157  
Portland, Oregon 97201-3464 Facsimile 503/223-4530  
U.S.A.

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Title: **TIMBERFORM**  
MODEL NO. 1640-4-54-M  
EMBANKMENT SLIDE CHUTE  
(STAINLESS STEEL BEDWAY, 6" RAILS)

Drawing No. P-12073-X

Sheet 1 of 2

ADD ALTERNATES DETAILS 1

**PGA**  
ARCHITECTURE

98 Jack London Alley San Francisco CA 94107  
415 908 6408 pflugong.com

**THE EPISCOPAL CHURCH OF ST. MATTHEW & ST. MATTHEW'S EPISCOPAL DAY SCHOOL MASTER PLAN**

One South El Camino Real  
San Mateo, California 94401

**PROJECT A:**  
Charles House Site  
PHASE I  
&  
**PROJECT B:**  
St. Matthew's Church Site  
PHASES II & III

**PLANNING DEPARTMENT SUBMITTAL**

OCTOBER 10, 2012



**PGA design** INC

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NOTES:  
1. BBO2 TABLE -- LOLL DESIGNS  
WWW.LOLLDESIGNS.COM  
2. PRICE \$394  
3. RECYCLED HDPE PLASTIC

OPTION A

**1 KID'S TABLE - O.P.O.I.**

L4-6 SCALE: NA



OPTION B

NOTES:  
1. KID'S PICNIC TABLE -- POLY-WOOD  
WWW.SENSORYEDGE.COM  
2. PRICE \$260  
3. RECYCLED HDPE PLASTIC



NOTES:  
1. KIDS ADIRONDACK -- LOLL DESIGNS  
WWW.LOLLDESIGNS.COM  
2. PRICE \$235  
3. RECYCLED HDPE PLASTIC

OPTION A

**2 ADIRONDACK CHAIR - O.P.O.I.**

L4-6 SCALE: NA



OPTION B

NOTES:  
1. SOUTH BEACH KID'S CHAIR -- POLY-WOOD  
WWW.SENSORYEDGE.COM  
2. PRICE \$175  
3. RECYCLED HDPE PLASTIC



NOTES:  
1. SOLID WOOD OUTDOOR TOOL STORAGE SHED -- BROOKSTONE  
WWW.BROOKSTONE.COM  
2. PRICE \$330  
3. SOLID SPRUCE WOOD WITH ASPHALT-COVERED ROOF  
4. 60" W. X 31" D. X 64" H. -- 53 CU.FT.

**3 GARDEN SHED - O.P.O.I.**

L4-6 SCALE: NA



NOTES:  
1. DELUXE PYRAMID COMPOSTER -- GARDENER'S SUPPLY CO.  
WWW.GARDENERS.COM  
2. PRICE \$159  
3. RECYCLED PLASTIC  
4. 28" SQ. X 34" H. -- 12 CU.FT.

**4 COMPOSTER - O.P.O.I.**

L4-6 SCALE: NA



NOTES:  
1. FOREVER RAISED BED -- GARDENER'S SUPPLY CO.  
WWW.GARDENERS.COM  
2. PRICE \$169  
3. RECYCLED WOOD AND PLASTIC COMPOSITE, ALUMINUM CORNER  
BRACKETS  
4. 36" SQ. X 10-1/2" H.  
5. LINE BOTTOM OF PLANTER WITH FILTER FABRIC AND BRING UP  
SIDES. FILL WITH AMERICAN SOIL - 'LOCAL HERO VEGGIE MIX'  
WWW.AMERICANSOIL.COM

**5 RAISED GARDEN BED - O.P.O.I.**

L4-6 SCALE: NA



NOTES:  
1. LOG SLUCIEWAY -- NATURAL PLAYGROUNDS STORE  
WWW.NATURALPLAYGROUNDSTORE.COM  
2. PRICE \$233  
3. ONE 6" HARDWOOD LOG WITH CHANNEL, TWO TREATED  
LUMBER H-SUPPORTS

**6 LOG SLUCIEWAY - O.P.O.I.**

L4-6 SCALE: NA



NOTES:  
1. TONGUE DRUM -- NATURAL PLAYGROUNDS  
STORE  
WWW.NATURALPLAYGROUNDSTORE.COM  
2. PRICE \$257  
3. STEEL DRUM WITH THREADED METAL PIPE  
MOUNT  
4. 12" ROUND X 14" H.

**7 TONGUE DRUM - O.P.O.I.**

L4-6 SCALE: NA

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O.P.O.I.  
LANDSCAPE DETAILS

**A-L4-6**

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IRRIGATION  
PLAN



1" = 10'-0"

**IRRIGATION LEGEND**

SYMBOL	MODEL	DESCRIPTION	PSI	GPM
□	PCB-25	HUNTER PRESSURE COMPENSATING BUBBLER INSTALL ON FLEX PVC RISER	30	0.25
⊖	SL16	WEATHERMATIC SMARTLINE CONTROLLER, 16 STATION		
⊕	SLWIS	WEATHERMATIC WIRELESS WEATHER SENSOR		
⊗	825YALF - 1"	FEBCO BACKFLOW PREVENTER		
⊠	100-1"	DATA INDUSTRIAL FLOW SENSOR		
⊡	2160-1"	GRISWOLD MASTER REMOTE CONTROL VALVE - NORMALLY OPEN		
⊢	T-113-K	NIBCO GATE VALVE - LINE SIZE		
⊕	100P	IRRITROL REMOTE CONTROL VALVE		
⊕	700-DK-1-LF	IRRITROL DRIP ZONE VALVE KIT		
⊕	HQ-33DLRC-R	HUNTER QUICK COUPLING VALVE		
⊕	B401-LK	CHAMPION HOSE BIBB WITH LOOSE KEY		
•		TRANSITION FROM PVC LATERAL LINE TO DRIP TUBING		

MAINLINE: SCH 40 PVC SOLVENT WELD PIPE WITH SCH 40 PVC SOLVENT WELD FITTINGS, SIZE 1-1/2" - 18" COVER

LATERAL LINE: CLASS 200 PVC SOLVENT WELD PIPE WITH SCH 40 PVC SOLVENT WELD FITTINGS, SIZE 3/4" - 12" COVER

DRIP IRRIGATION AREA: RAIN BIRD XB-10PC PRESSURE COMPENSATING EMITTERS, WITH 1/2" NOMINAL SIZE POLYETHYLENE DRIP TUBING. 2"-4" COVER.

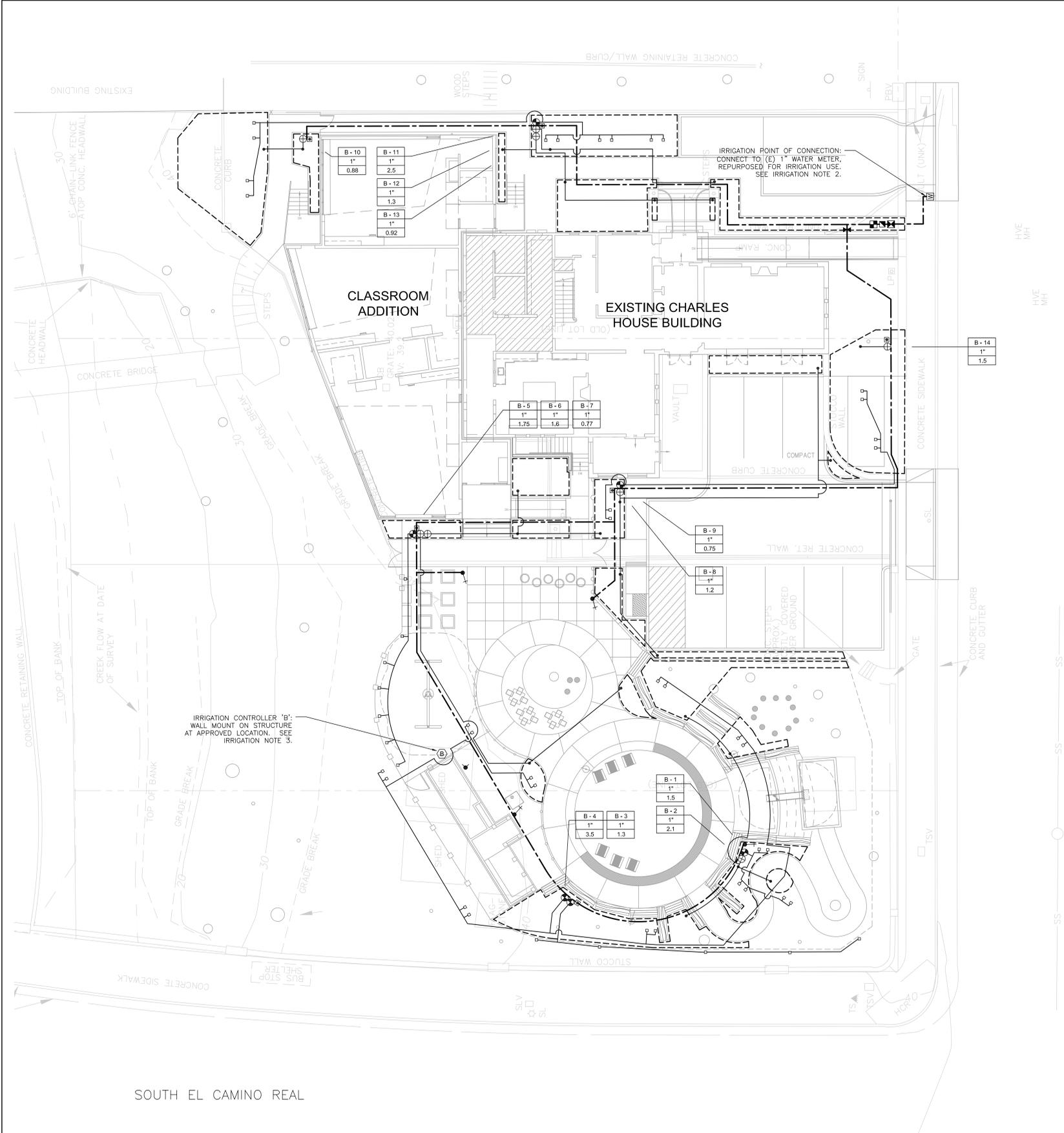
A-1	CONTROLLER / STATION NUMBER
1"	REMOTE CONTROL VALVE SIZE
20	APPROXIMATE GPM THROUGH VALVE

SECOND AVENUE

**IRRIGATION NOTES**

- IRRIGATION SYSTEM DEMAND IS 15 GPM AT 50 PSI MINIMUM STATIC PRESSURE AT THE POINT OF CONNECTION. CONFIRM STATIC PRESSURE PRIOR TO START OF WORK. NOTIFY OWNER'S REPRESENTATIVE IF STATIC PRESSURE IS LOWER THAN STATED DEMAND. IF STATIC PRESSURE IS HIGHER THAN 65 PSI, INSTALL A WILKINS #600 PRESSURE REGULATOR DOWNSTREAM OF BACKFLOW PREVENTER. ADJUST OUTLET PRESSURE TO 50 PSI.
- MAKE IRRIGATION POINT OF CONNECTION AS INDICATED ON PLAN AND COORDINATE WITH OTHER WORK AS REQUIRED. EXACT LOCATION OF BACKFLOW PREVENTER TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- INSTALL IRRIGATION CONTROLLER WHERE INDICATED ON PLAN. EXACT LOCATION OF CONTROLLERS TO BE DETERMINED AT JOBSITE BY OWNER'S REPRESENTATIVE. 120 VOLT A.C. ELECTRICAL SUPPLY IS PROVIDED FOR IN IMMEDIATE VICINITY BY ELECTRICAL SECTION OF CONTRACT. MAKE FINAL 120 VOLT ELECTRICAL CONNECTIONS. USE EMT METAL CONDUIT FOR INDOOR INSTALLATIONS, AND LIQUID-TITE CONDUIT FOR OUTDOOR INSTALLATIONS. INSTALL AS DETAILED AND PER MANUFACTURER'S INSTRUCTIONS. GROUND CONTROLLER AND CONFORM TO APPLICABLE LOCAL CODES.
- INSTALL WIRELESS WEATHER SENSOR ON STRUCTURE AT LOCATION APPROVED BY OWNER'S REPRESENTATIVE.
- INSTALL FLOW SENSOR CABLE IN PVC CONDUIT FROM SENSOR TO CONTROLLER CABINET. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR ADDITIONAL INFORMATION ON CABLE TYPE AND INSTALLATION REQUIREMENTS.
- THE IRRIGATION PLAN IS DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE COMPLETED. IRRIGATION EQUIPMENT OR PIPING MAY BE SHOWN IN PAVED AREAS FOR GRAPHIC CLARITY. INSTALL ALL PIPING AND EQUIPMENT WITHIN PLANTING AREAS UNLESS OTHERWISE SHOWN ON PLANS.
- LOCATE VALVE BOXES IN PLANTED AREAS AS SHOWN ON PLAN. STAKE PROPOSED LOCATION OF VALVE BOXES AND OBTAIN APPROVAL OF OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- FULL COVERAGE IS REQUIRED. MAKE MINOR MODIFICATIONS TO LAYOUT AS REQUIRED TO OBTAIN COMPLETE COVERAGE AND REVIEW WITH OWNER'S REPRESENTATIVE.
- INSTALL CHECK VALVES ON LATERAL LINES AS REQUIRED TO PREVENT LOW HEAD DRAINAGE.
- AVOID TRENCHING WITHIN DRIP LINE OF EXISTING TREES. WHERE TRENCHING WITHIN DRIP LINE IS UNAVOIDABLE REVIEW WITH OWNER'S REPRESENTATIVE PRIOR TO START OF WORK. USE AIR SPADE OR HAND TRENCH ONLY WITHIN THESE AREAS.
- INSTALL PIPE AND WIRE UNDER PAVING IN PVC SCH. 40 SLEEVE.
- INSTALL DRIP IRRIGATION AS REQUIRED TO PROVIDE IRRIGATION TO ALL NEW PLANTS AS SHOWN ON PLANTING PLAN. INSTALL EMITTERS DIRECTLY INTO 1/2" POLY TUBING. BRANCH AND SNAKE TUBING SUCH THAT EMITTERS ARE ADJACENT TO ROOT BALLS. DO NOT USE SMALL DIAMETER DISTRIBUTION TUBING.
- PROVIDE EMISSION POINTS AS FOLLOWS:  
2 1-GPH EMITTERS AT EACH 5 GAL. PLANT  
1 1-GPH EMITTERS AT EACH 1 GAL. PLANT
- STAKE EMITTER TUBING IN PLACE AND BURY AS NOTED IN IRRIGATION LEGEND.

FOR IRRIGATION DETAILS, SEE SHEET A-L4-7



SOUTH EL CAMINO REAL

0' 5' 10' 20'



**THE EPISCOPAL CHURCH  
 OF ST. MATTHEW  
 &  
 ST. MATTHEW'S EPISCOPAL  
 DAY SCHOOL MASTER PLAN**  
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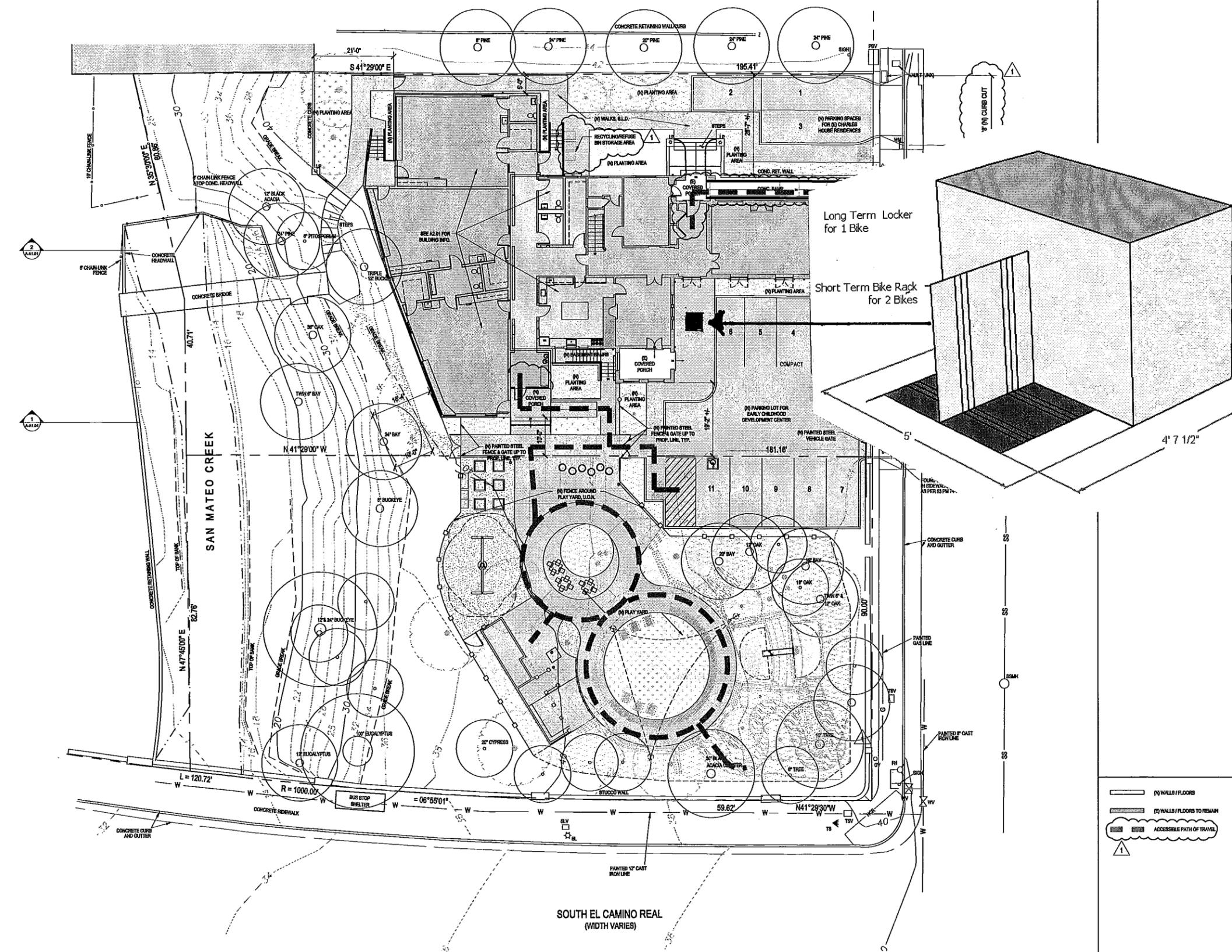
**PROJECT A:**  
 Charles House Site  
 (SES I)

**PROJECT B:**  
 Matthew's Church Site  
 (SES II & III)

**PLANNING  
 DEPARTMENT  
 SUBMITTAL  
 31 JULY 2012**

REVISD 10 OCTOBER 2012

*BIKE STORAGE  
 LOCATION  
 1/20/13*



**LEGEND**

- (S) WALLS / FLOORS
- (R) WALLS / FLOORS TO REMAIN
- (A) ACCESSIBLE PATH OF TRAVEL
- EXISTING BUILDING TO BE REMODELED
- PHASE I CHARLES HOUSE EARLY CHILDHOOD CLASSROOMS
- PHASE I NEW PARKING & WALKS
- PHASE I NEW LANDSCAPE

PROJECT NORTH

**A-A1.00**

LEGEND

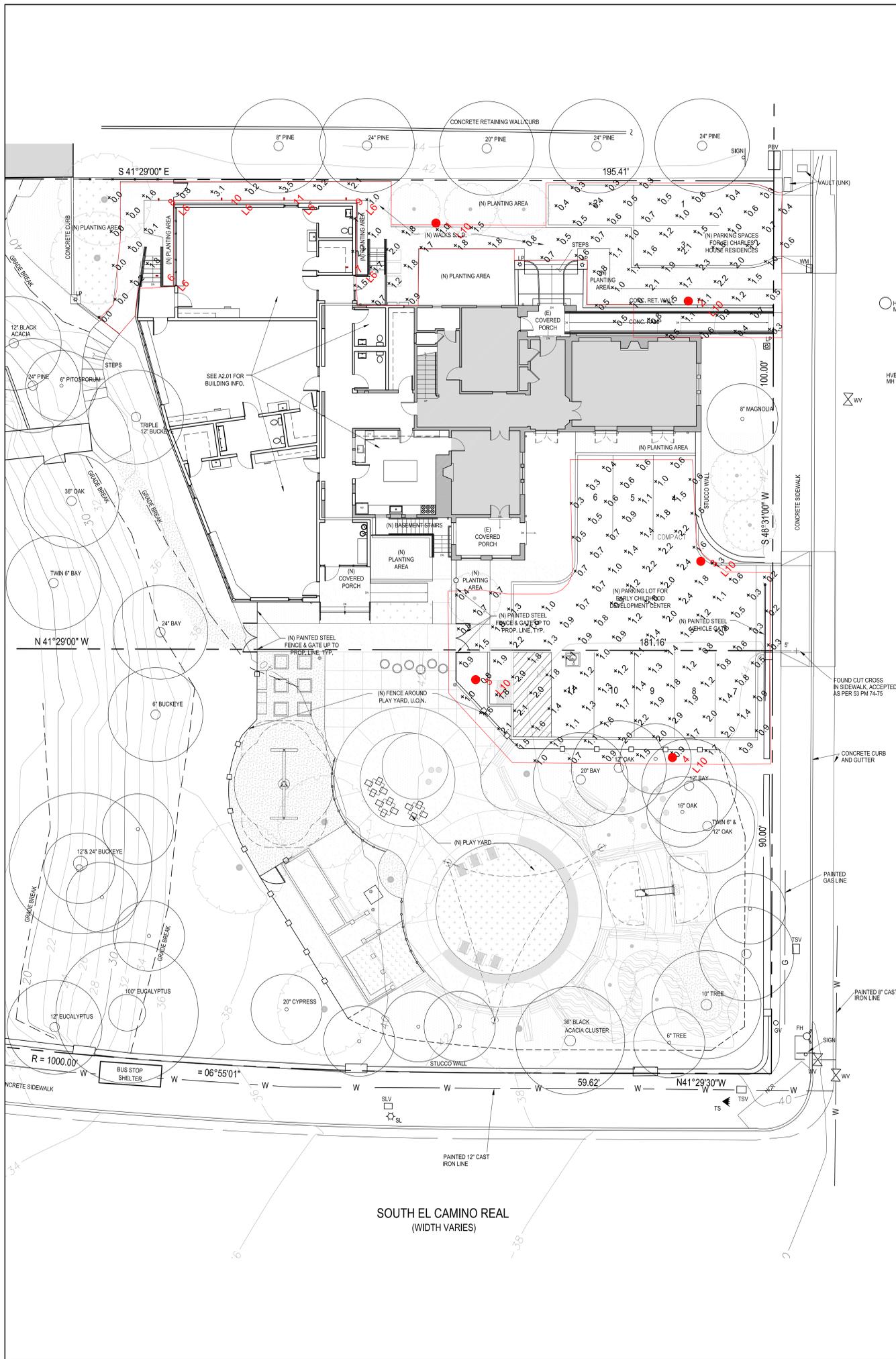
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SECOND AVENUE  
(70' WIDE)

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	Lum. Watts	LLD	LDD	BF	LLF	Description
☉	6	L6	SINGLE	360	11	0.900	1.000	1.000	0.900	WINONA GELED-3004 3000K 36 DEG SCNCE
●	5	L10	SINGLE	N.A.	54.6	0.900	0.950	1.000	0.855	LANDSCAPE FORMS ALCOTT_TYPE3 LEDAC142-01

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CH EAST PARK	Illuminance	Fc	1.00	3.5	0.0	N.A.	N.A.
CH WEST PARK	Illuminance	Fc	1.24	2.9	0.2	6.20	14.50

LumNo	Label	X	Y	Z	Orient	Tilt	Status
1	L10	9812.796	10099.00	12	222	0	On
2	L10	9835.24	10049.32	12	42	0	On
3	L10	9796.457	10011.38	12	132	0	On
4	L10	9762.032	9988.604	12	42	0	On
5	L10	9747.172	10029.71	12	312	0	On
6	L6	9766.466	10134.59	9	130.468	0	On
7	L6	9793.599	10106.76	9	312	0	On
8	L6	9778.339	10144.90	9	42.31	0	On
9	L6	9804.123	10116.09	9	42	0	On
10	L6	9787.033	10135.26	9	42.31	0	On
11	L6	9795.631	10125.66	9	42	0	On

PROJECT NORTH

**A-A1.01**

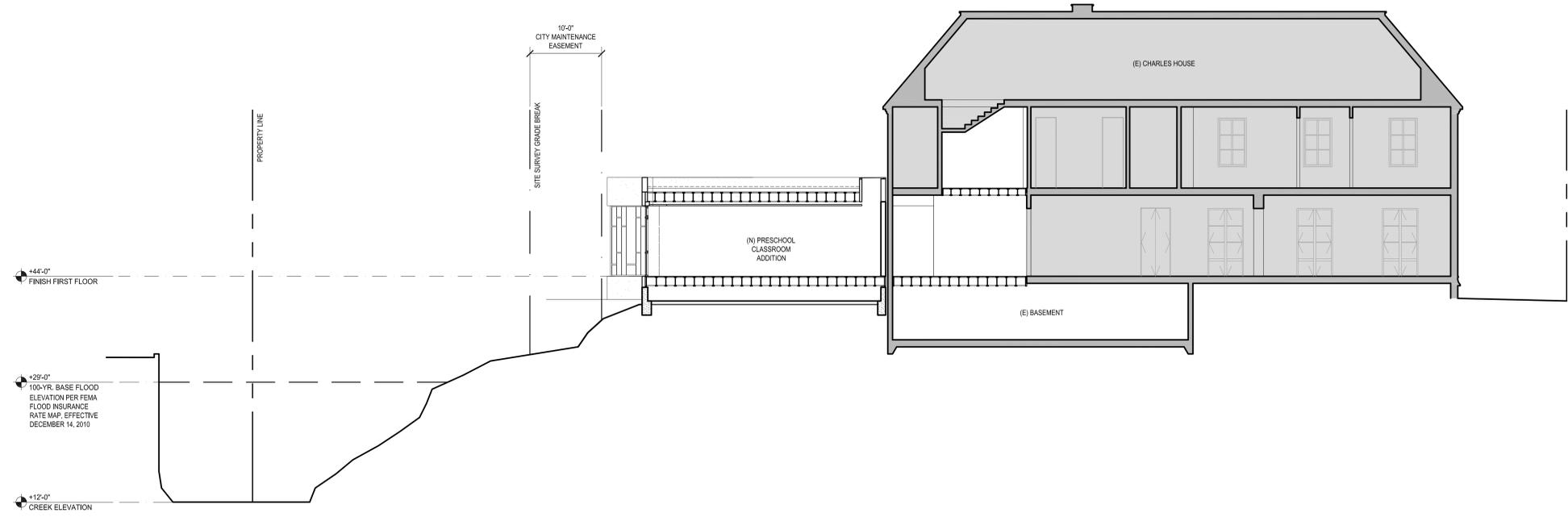
SCALE  
0 2.5' 5' 10' 20'

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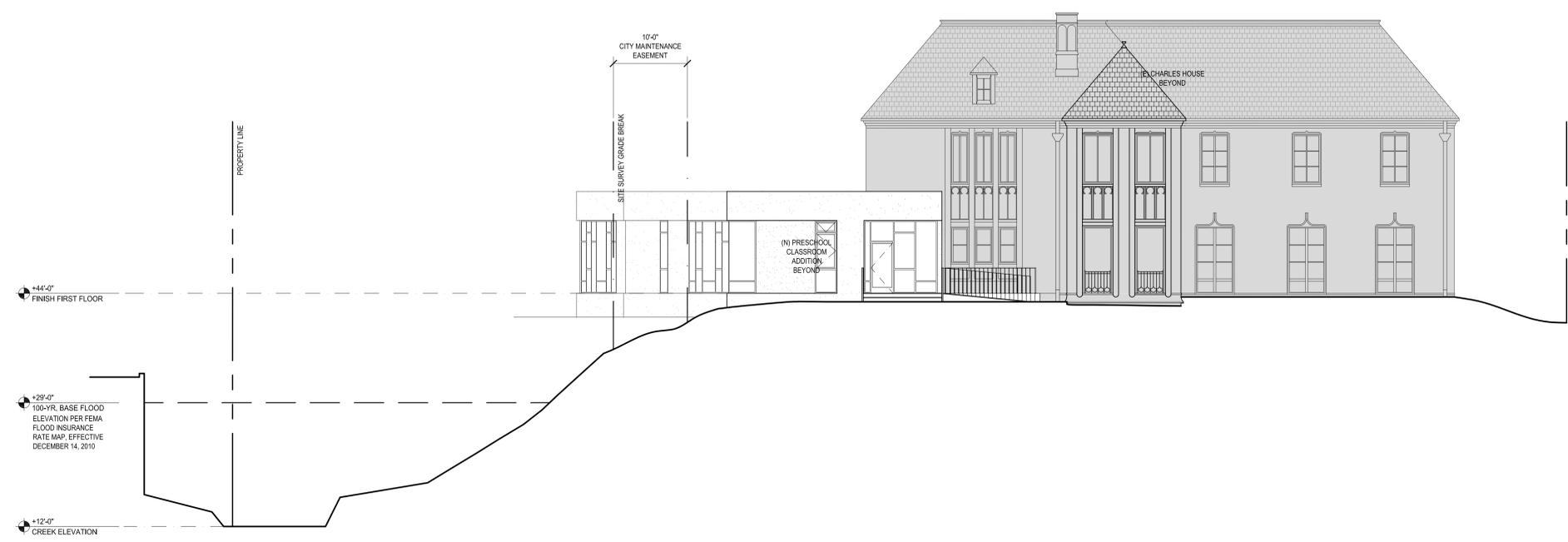
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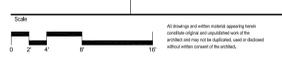


CHARLES HOUSE SITE SECTION | 2  
1/8" = 1'-0"



CHARLES HOUSE SITE SECTION | 1  
1/8" = 1'-0"

A-A1.02



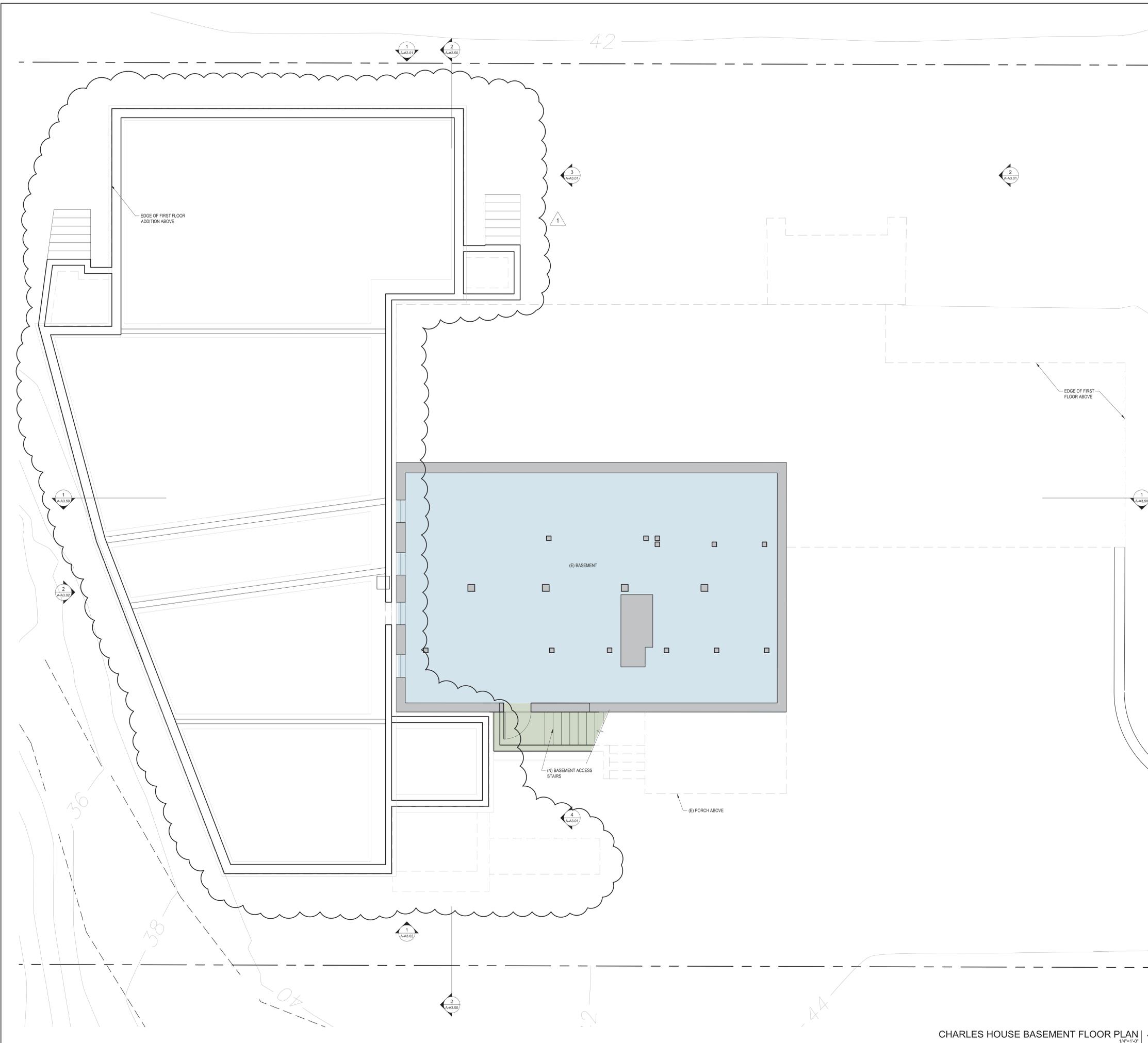
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- (N) WALLS / FLOORS OR AREA OF (N) WORK U.O.N.
- (E) WALLS / FLOORS TO REMAIN

- EXISTING BUILDING
- PHASE I CHARLES HOUSE

PROJECT NORTH

**A-A2.00**

Scale

0 1 2 4

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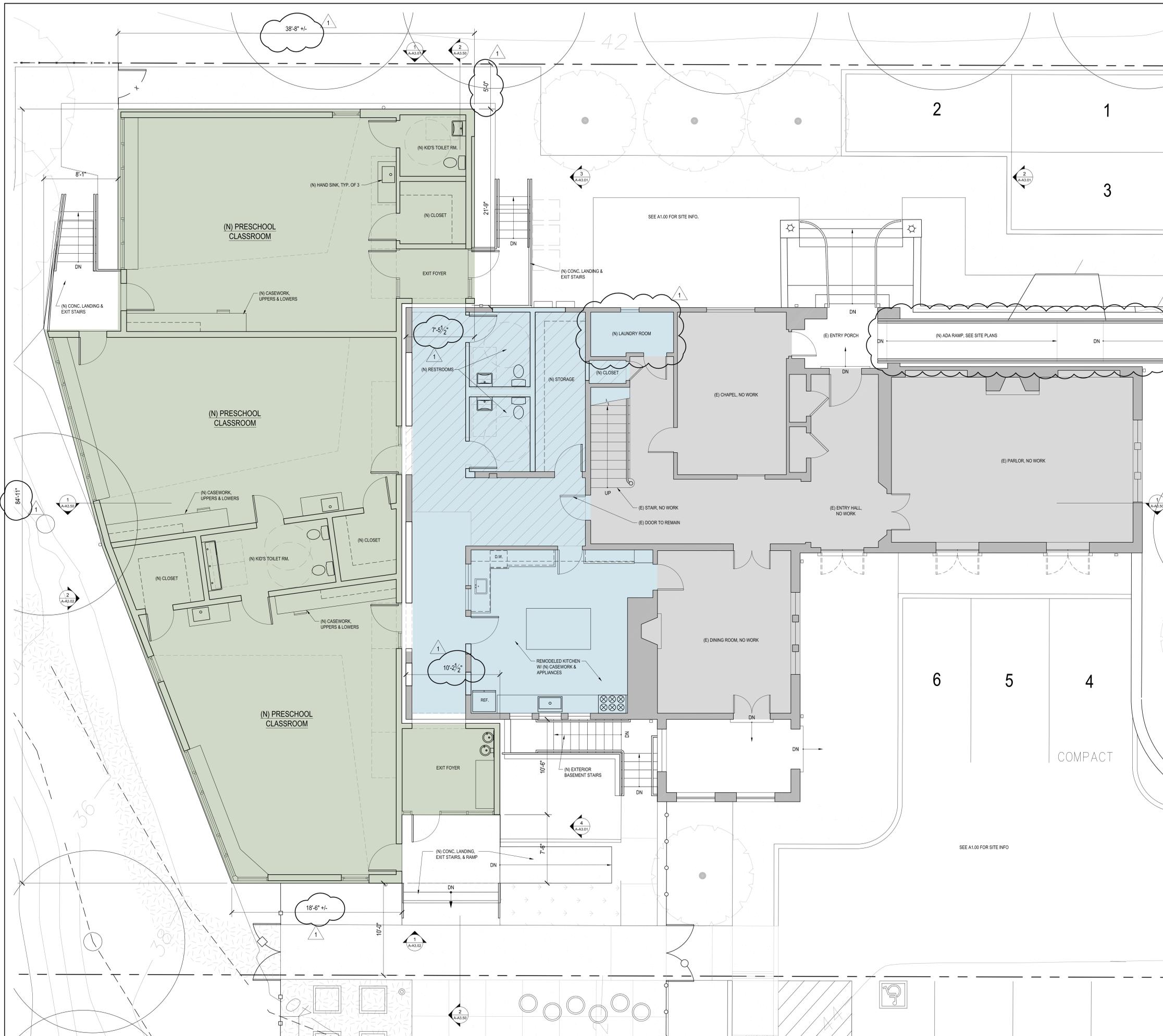
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- (E) WALLS / FLOORS TO REMAIN
- (E) NO WORK
- (N) FLOOR

- EXISTING BUILDING TO BE REMODELED
- PHASE I CHARLES HOUSE

CHARLES HOUSE FIRST FLOOR PLAN | 1  
1/4"=1'-0"

LEGEND

PROJECT NORTH

**A-A2.01**

Scale: 0 1 2 4

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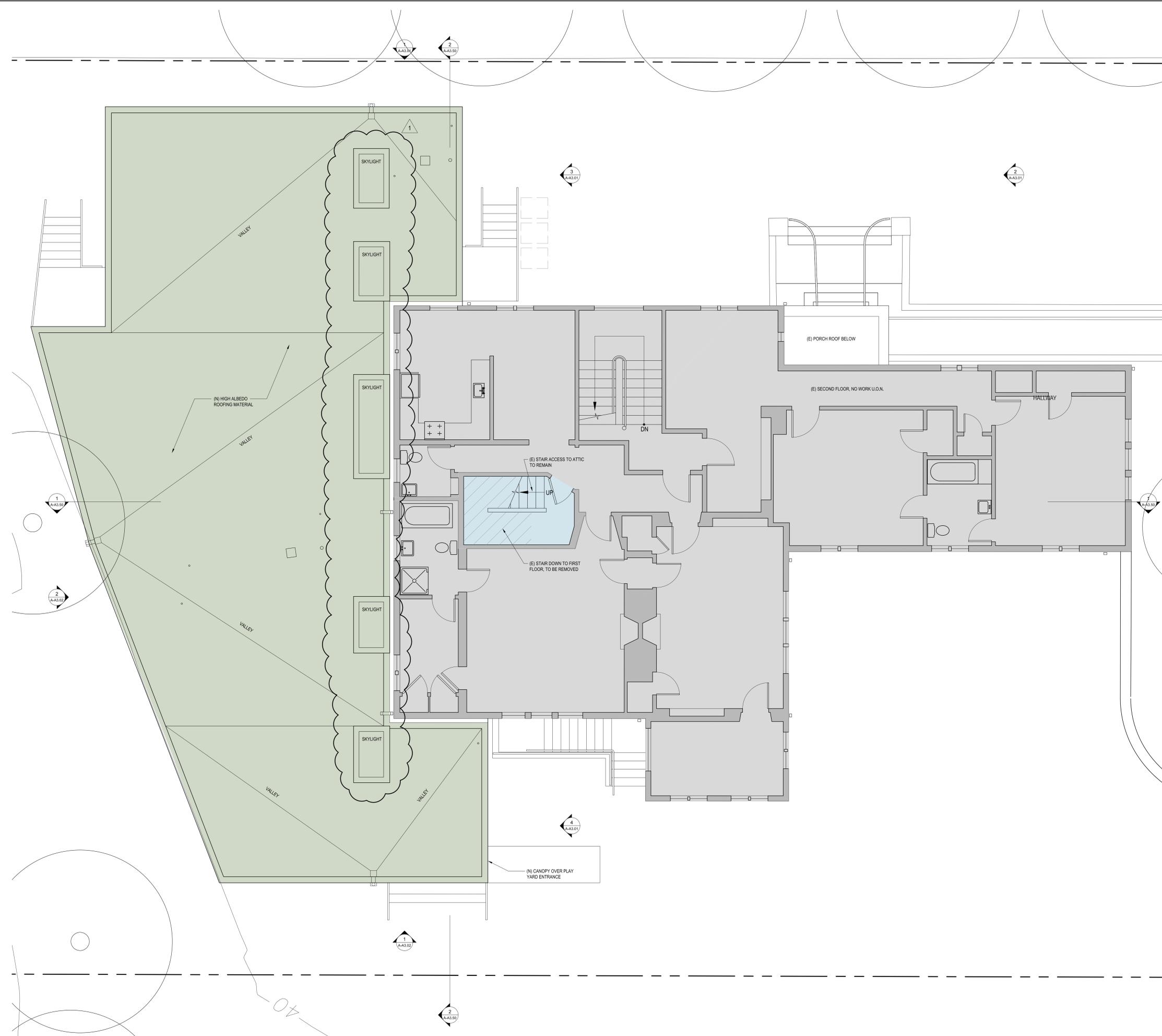
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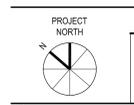
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**A-A2.02**

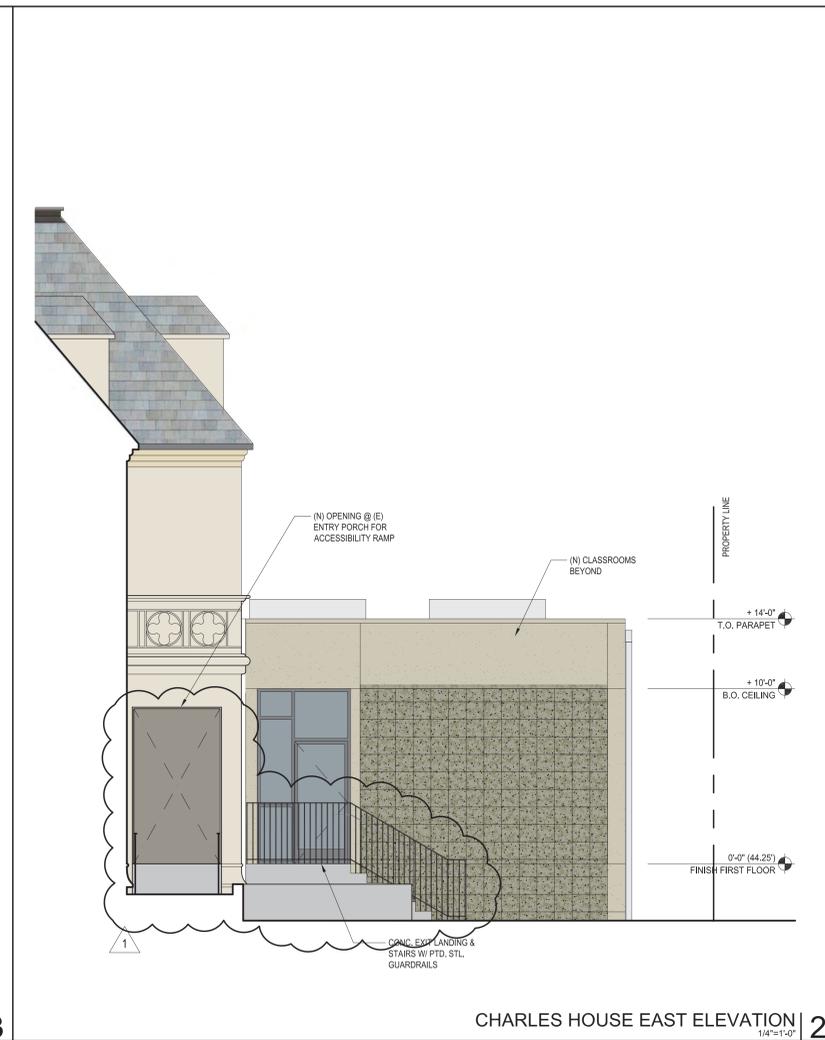
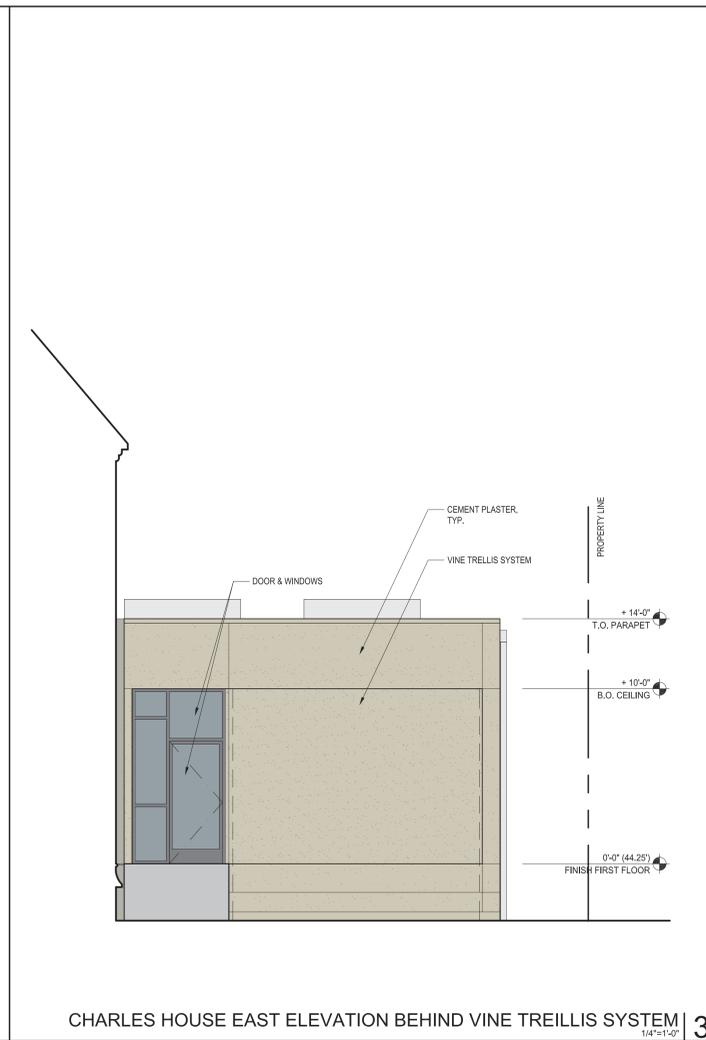
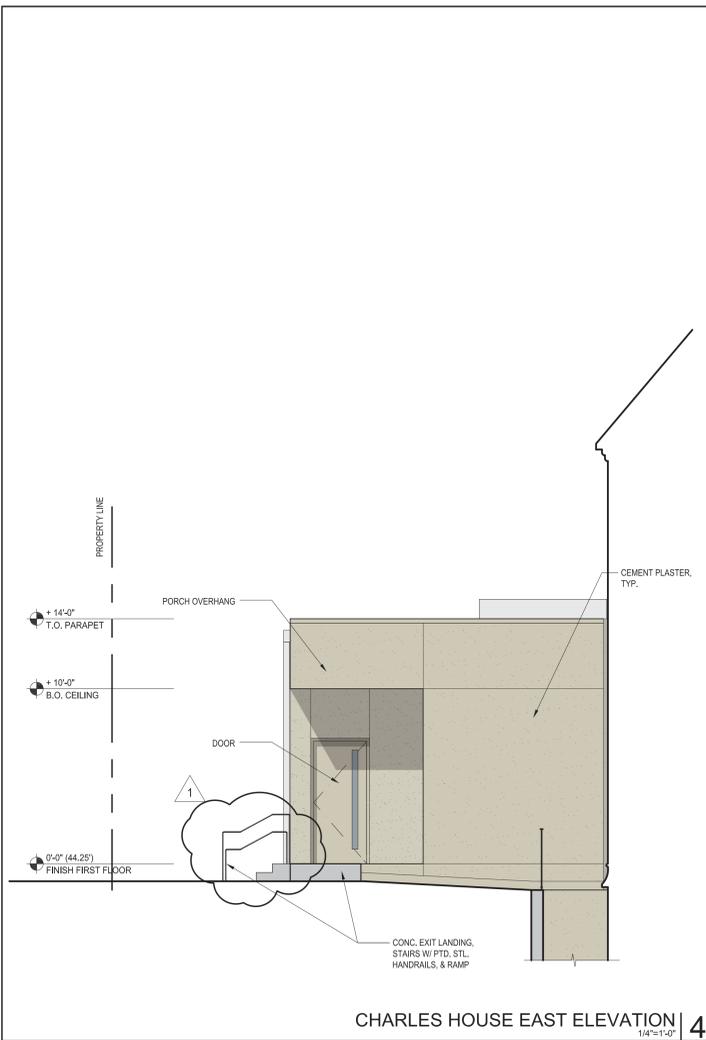
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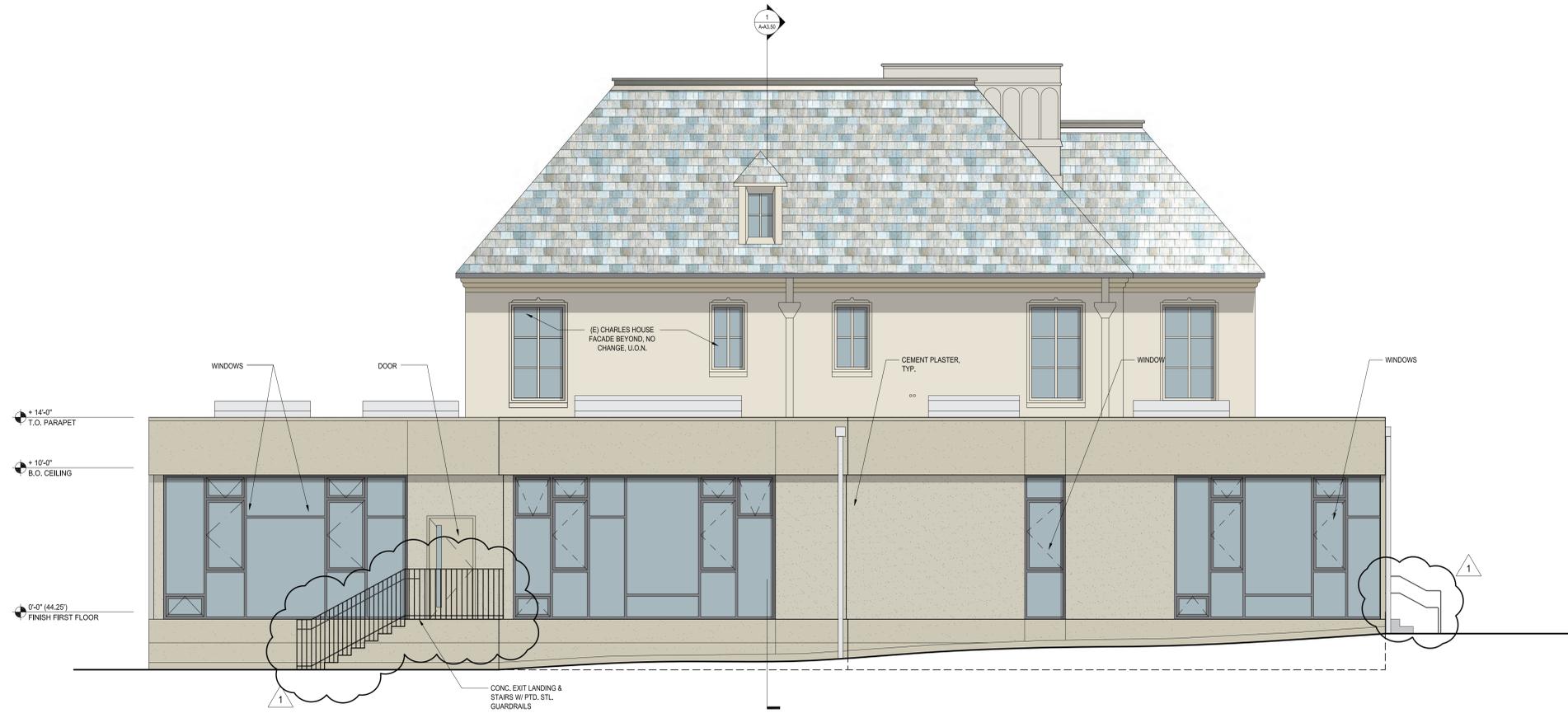
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CHARLES HOUSE WEST ELEVATION 1/4"=1'-0" 2



CHARLES HOUSE SOUTH ELEVATION 1/4"=1'-0" 1